

AGENDA

August 14, 2024

Public Service Building
MEETING ROOMS A & B

Roll Call

Approval of the minutes of the last regular meeting of the Elkhart County Plan Commission held on the 10th day of July 2025.

Acceptance of the Elkhart County Development Ordinance, and Staff Report materials as evidence for today's hearings.

9:30 A.M.

(SNYDER)
(page 9)

A. Petitioner: Warner Farms (page 9)
represented by Innovative Communities, Inc.
Petition: for primary approval of a 6-lot major subdivision to be known as **ROCK
POINTE SECOND.**
Location: east side of CR 29, 2,140 ft. north of CR 34, in Elkhart Township.
(MA-0351-2025)

REZONING

B. Petitioner: Cesar Manuel Valdez (page 10)
 Petition: for a zone map change from A-1 to B-2.
 Location: east side of US 33, 1,260 ft. north of CR 40, common address of 65764 US 33
 in Elkhart Township. (RZ-0444-2025)

DETAILED PLANNED UNIT DEVELOPMENTS

C.	Petitioner:	Conservative Business Concepts LLC represented by Abonmarche Consultants	(page 11)
	Petition:	for a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as <i>BROOKVIEW FARMS PHASE 1 DPUD B-3 AMENDMENT.</i>	
	Location:	northeast corner of Fernbrook Rd. & CR 142, west side of SR 15, common address of 67470 Fernbrook Rd. in Jackson Township.	(DPUD-0445-2025)
D.	Petitioner:	Igor Doroshenko & Nina Mamalat Doroshenko, Husband & Wife & Andriy Doroshenko & Katya Doroshenko, Husband & Wife represented by B. Doriot & Associates, Inc.	(page 12)

Petition: for a zone map change from A-1 to DPUD A-1 and for primary approval of an 8-lot major subdivision to be known as **DOROSHENKO A-1 DPUD**.
Location: south side of CR 118, 1,700 ft. west of Old CR 17, in Concord Township.
(DPUD-0441-2025)

E. Petitioner: Fernbrook LLC (page 13)
represented by DVG Team, Inc.
Petition: for a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as **NIPSCO NEW PARIS LOCAL OPERATIONS CENTER**.
Location: northwest corner of Fernbrook Rd. & CR 142, west of SR 15, common address in Jackson Township.
(DPUD-0352-2025)

PUBLIC MEETING ITEMS *(time of review at the discretion of the Plan Commission)*

STAFF/BOARD ITEMS *(time of review at the discretion of the Plan Commission)*

- *Middlebury East TIF Expansion.*
- *South Benton TIF Expansion.*

ADJOURNMENT

Phil Barker – County Surveyor: no term

Steven Edwards – Appointed by Commissioners: term 1/1/23 – 12/31/26

Steve Warner - Appointed by Commissioners: term 1/1/23 – 12/31/26

Lori Snyder - Appointed by Commissioners: term 1/1/25 – 12/31/28

Steven Clark – County Council Liaison: no term

Brad Rogers – County Commissioners Liaison: no term

Brian Dickerson – Appointed by Commissioners: term 1/1/22 – 12/31/25

Roger Miller – Appointed by Commissioners: term 1/1/25 – 12/31/28

Dan Carlson – Ag Agent: no term

PLAN MINUTES
ELKHART COUNTY PLAN COMMISSION MEETING
HELD ON THE 10TH DAY OF JULY 2025 AT 9:30 A.M. IN THE
MEETING ROOM OF THE ADMINISTRATION BUILDING
117 N. 2ND ST., GOSHEN, INDIANA

1. The regular meeting of the Elkhart County Plan Commission was called to order by the Vice Chairman, Roger Miller. The following staff members were present: Jason Auvil, Planning Manager; Danny Dean, Planner; Danielle Richards, Planner; Laura Gilbert, Administrative Manager; Mae Kratzer, Plan Director, and Don Shuler Attorney for the Board.

Roll Call.

Present: Philip Barker, Steven Edwards, Steve Warner, Steve Clark, Brad Rogers, Brian Dickerson, Dan Carlson, Roger Miller.

Absent: Lori Snyder.

2. A motion was made and seconded (*Clark/Barker*) that the minutes of the last regular meeting of the Elkhart County Plan Commission, held on the 12th day of June 2025, be approved as submitted. The motion was carried with a unanimous vote.

3. A motion was made and seconded (*Warner/Edwards*) that the Elkhart County Zoning Ordinance and Elkhart County Subdivision Control Ordinance be accepted as evidence for today's hearings. The motion was carried with a unanimous vote.

*****It should be noted Brad Rogers arrives at this time*****

4. The application for a zone map change from A-1 to M-1, for Barbara Christine Wilhelm, Trustee of the Barbara Christine Wilhelm Lifetime Family Trust represented by Ryan White, on property located on the north and south sides of CR 23, west of Maple St., in Jefferson Township, zoned A-1, was presented at this time.

Danielle Richards presented the Staff Report/Staff Analysis, which is attached for review as Case #RZ-0322-2025.

Ryan White, Pinnacle Properties, 418 S. Main St., Elkhart, was present representing the petitioner. He stated there is no specific buyer or business requesting this rezoning. He explained that the reason for the rezoning is that most potential commercial property buyers need electrical power, and established commercial zoning. He also noted that potential buyers are operating under tight timelines and cannot afford uncertainty, making established zoning favorable. He emphasized that they do not have time to pursue a Planned Unit Development (PUD), which is why a straight rezoning is preferred. Brad Rogers asked, due to past issues with direct M-1 rezonings, about the many different manufacturing businesses that could go here, including a data center. Mr. White stated the data center is no longer under contract on the property. He mentioned he has spoken with other data center users, and there is an issue with securing the amount of power needed. He further stated that currently, no one is pursuing that property. Mr. Warner raised a concern about the straight rezoning, particularly because of Vermont. Mr. White inquired if it was due to the vibrations. He explained he thought that issue had been resolved, as a manager had told him three weeks ago that it had been taken care of. Mr. Clark expressed sympathy for Mr. White, in his struggle to attract future business endeavors to

Elkhart County. He pointed out that businesses don't want the investments and time involved to rezone when other properties are already zoned for their needs. Mr. Miller added that there are other properties currently for sale with M-1 zoning. Mr. White said they are looking for hundreds of acres. He compared prospective buyers to Samsung, which purchased land in St. Joseph County, because they have the land and power capability. Mr. Clark asked if the interested buyers are automobile manufacturing companies. Mr. White explained that there aren't many parcels of land adjacent to each other, making it difficult to acquire the amount needed for those companies. Mr. Dickerson expressed concern about the residential property in the middle of the rezoning. Mr. White mentioned hopes of them being bought out, similar to the owner to the north. Mr. Dickerson asked if it is the same owner. Mr. White clarified it was a different owner and added that Bristol still has the potential to build a bypass connecting Earthway Dr. and Stonemont Dr. Mr. Dickerson also stressed his concerns for the residential parcels remaining there. He said that if it were his backyard, he wouldn't want a negative impact on his property value. He clarified that the Board's goal is not to encircle residential properties with manufacturing zoning. He stated he's not fully against manufacturing zoning or even a straight rezone but wants to consider how it affects neighboring parcels and what buffering would look like. Mr. Dickerson stated the board has to balance supporting local business while protecting other taxpayers. He noted there's nowhere else to build in Elkhart County, which is a significant issue. Mr. White asked if it would be possible to set restrictions requiring enhanced buffers beyond the standard ordinances. Mr. Shuler said such restrictions don't come with a straight rezoning but could be included as commitments or through a DPUD. Mr. White suggested that local residents could be bought out at prices above market value. Mr. Dickerson expressed concern that the neighbors may not end up being bought out unless a requirement forced it.

There were no remonstrators present.

A motion was made and seconded (*Rogers/Dickerson*) that the public hearing be closed, and the motion was carried with a unanimous vote.

Mr. Warner agreed with Mr. Dickerson's concerns, and he is also looking out for the residents.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Deny, **Moved by** Roger Miller, **Seconded by** Brad Rogers that the Advisory Plan Commission recommend to the Bristol Town Council that this request for a zone map change from A-1 to M-1 be denied in accordance with the Staff Analysis.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 8).

Yes: Phil Barker, Steve Edwards, Steve Warner, Steve Clark, Brad Rogers, Brian Dickerson, Dan Carlson, Roger Miller.

Board of County Commissioners Approvals Following Plan Commission Recommendations

Jason Auvil reported on the June 16, 2025, Elkhart County Commissioners meeting petition approvals.

A motion was made and seconded (*Warner/Dickerson*) that the meeting be adjourned. The motion was carried with a unanimous vote, and the meeting was adjourned at 9:49 a.m.

Respectfully submitted,

Amber Weiss, Recording Secretary

Roger Miller, Vice-Chairman

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: August 14, 2025

Transaction Number: MA-0351-2025.

Parcel Number(s): 20-11-12-326-006.000-014, 20-11-12-400-001.000-014.

Existing Zoning: A-1.

Petition: For primary approval of a 6-lot major subdivision to be known as ROCK POINTE SECOND.

Petitioner: Warner Farms, represented by Innovative Communities, Inc.

Location: East side of CR 29, 2,140 ft. north of CR 34, in Elkhart Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	A-1	Agricultural
North	A-1	Agricultural
South	A-1	Residential
East	A-1	Agricultural
West	A-1	Residential

Site Description: The subject property is the 36-acre final phase of Rock Pointe, which began with an original phase of 5 lots along CR 29. Rock Pointe Second contains 6 lots averaging 6 acres each, and the lots will access CR 29 via a private drive over a 40 ft. access easement. The only dedicated right-of-way will be the standard 40 ft. at CR 29. Lots 1 through 3 contain an existing drainage easement with tile running toward Hoover Ditch, and the owners of those lots will be subject to a proposed maintenance agreement for features within that easement. Existing slopes direct surface water generally toward depressions at the east sides of lots 3 and 4.

History and General Notes:

- **September 29, 2011** – The original Rock Pointe was recorded.
- This major subdivision includes a 70 ft. lot width variance for proposed lot 1, a 30 ft. lot width variance for proposed lot 6, and no-frontage variances for proposed lots 2 through 5.

Staff Analysis: The staff, after reviewing this petition with the assistance of the Elkhart County Technical Committee, finds that this primary approval request meets the requirements of the Development Ordinance.

Staff therefore recommends **APPROVAL** of this primary.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Major Subdivision - Primary

Date: 05/30/2025 Meeting Date: August 14, 2025
Plan Commission Hearing (Subdivision) Transaction #: MA-0351-2025

Description: for primary approval of a 6- lot major subdivision to be known as ROCK POINTE SECOND

Contacts: <u>Applicant</u>	<u>Land Owner</u>	<u>Private Surveyor</u>
Innovative Communities, Inc 697 Bungalow Dr Nappanee, IN 46550	Warner Farms 17580 Sr 4 Goshen, IN 46528	Innovative Communities, Inc 697 Bungalow Dr Nappanee, IN 46550

Site Address: 00000 County Road 29 GOSHEN, IN 46528	Parcel Number: 20-11-12-326-006.000-014 20-11-12-400-001.000-014
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Township: Elkhart
Location: EAST SIDE OF CR 29, 2,140 FT. N OF CR 34

Subdivision:	Lot #
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Lot Area:	Frontage:	Depth:
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Zoning: A-1	NPO List:
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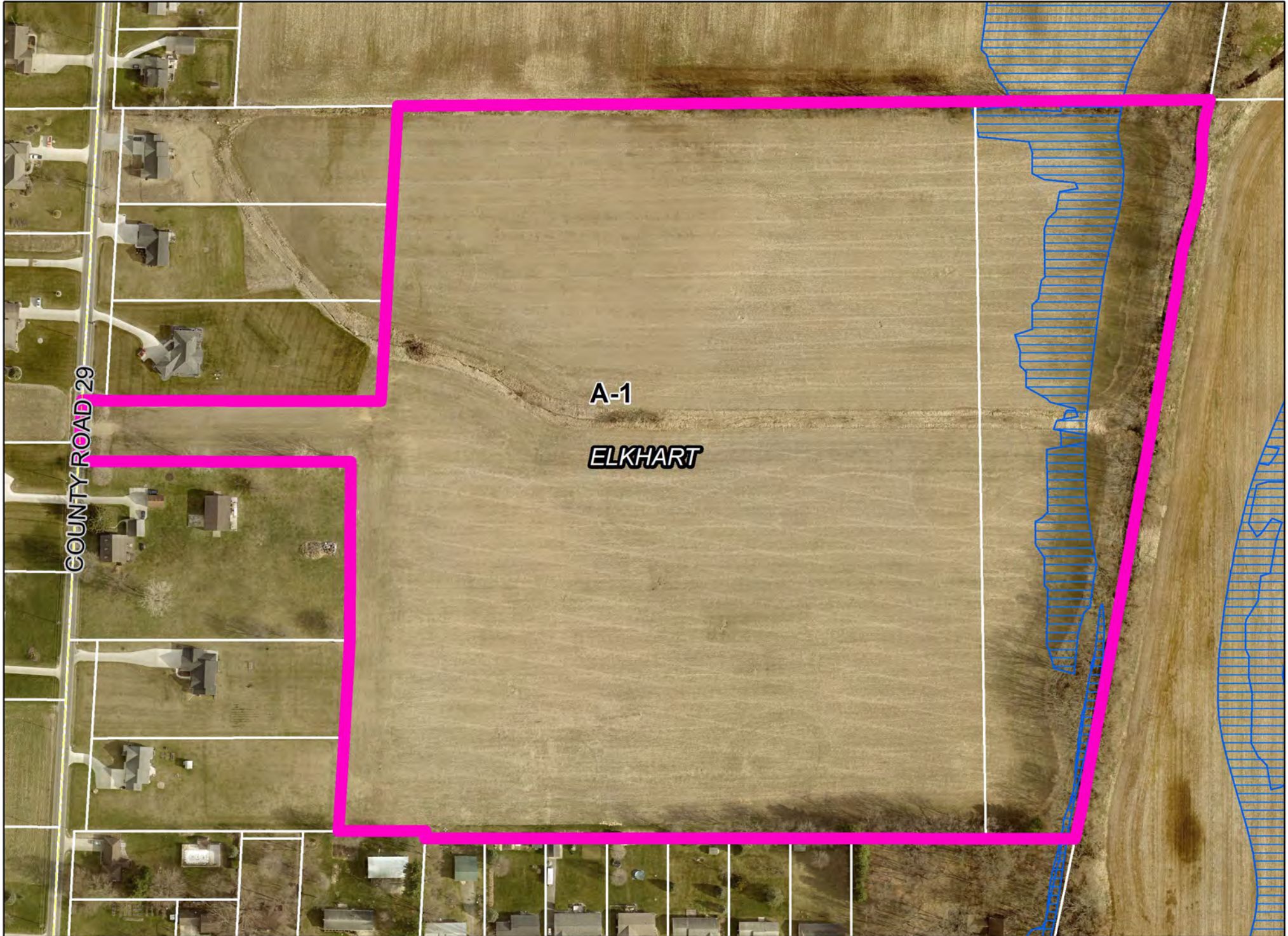
Present Use of Property:

Legal Description:

Comments: for a Developmental Variance to allow for the construction of a residence on property with no road frontage served by an access easement

Applicant Signature:

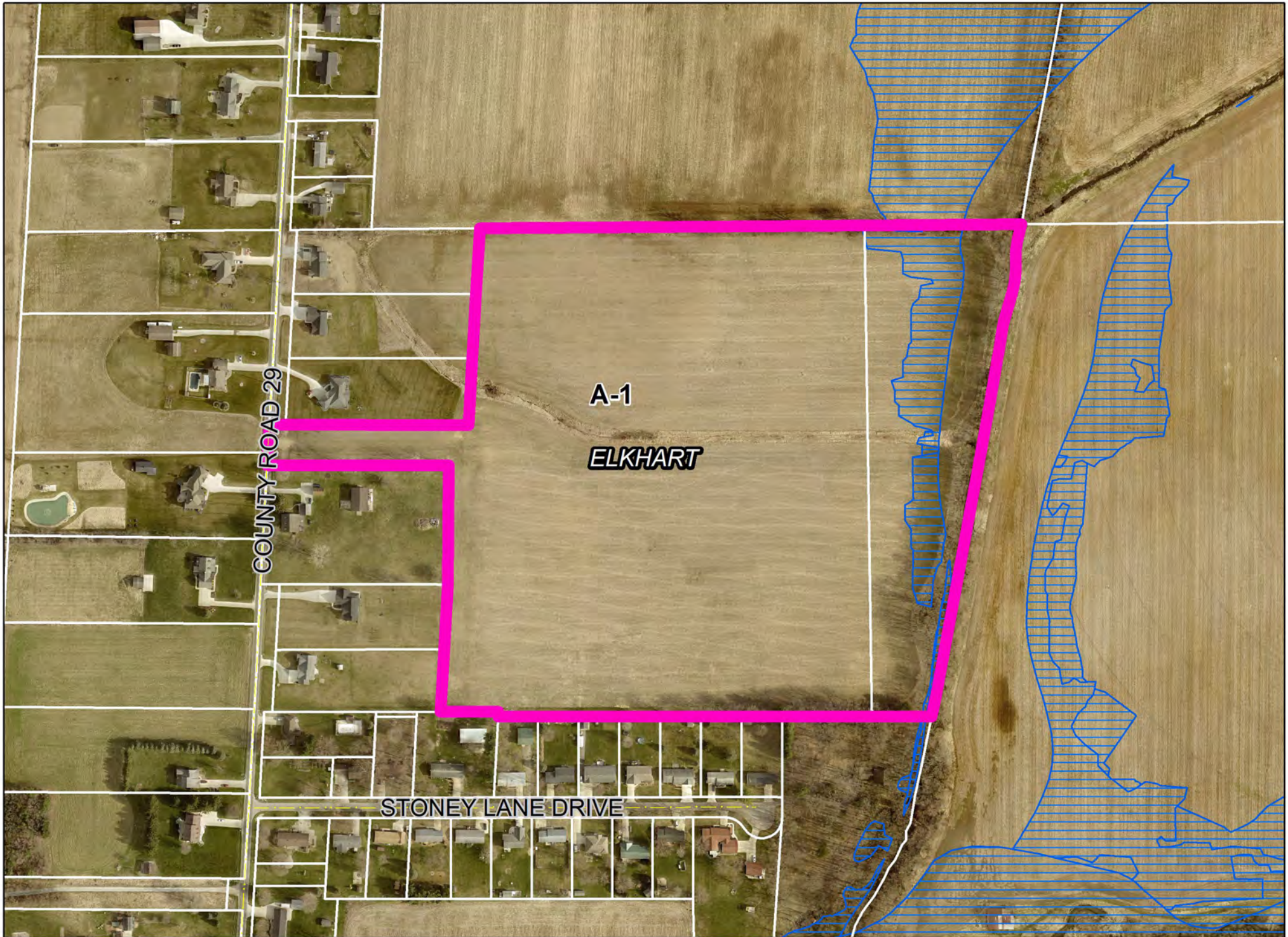
Department Signature:

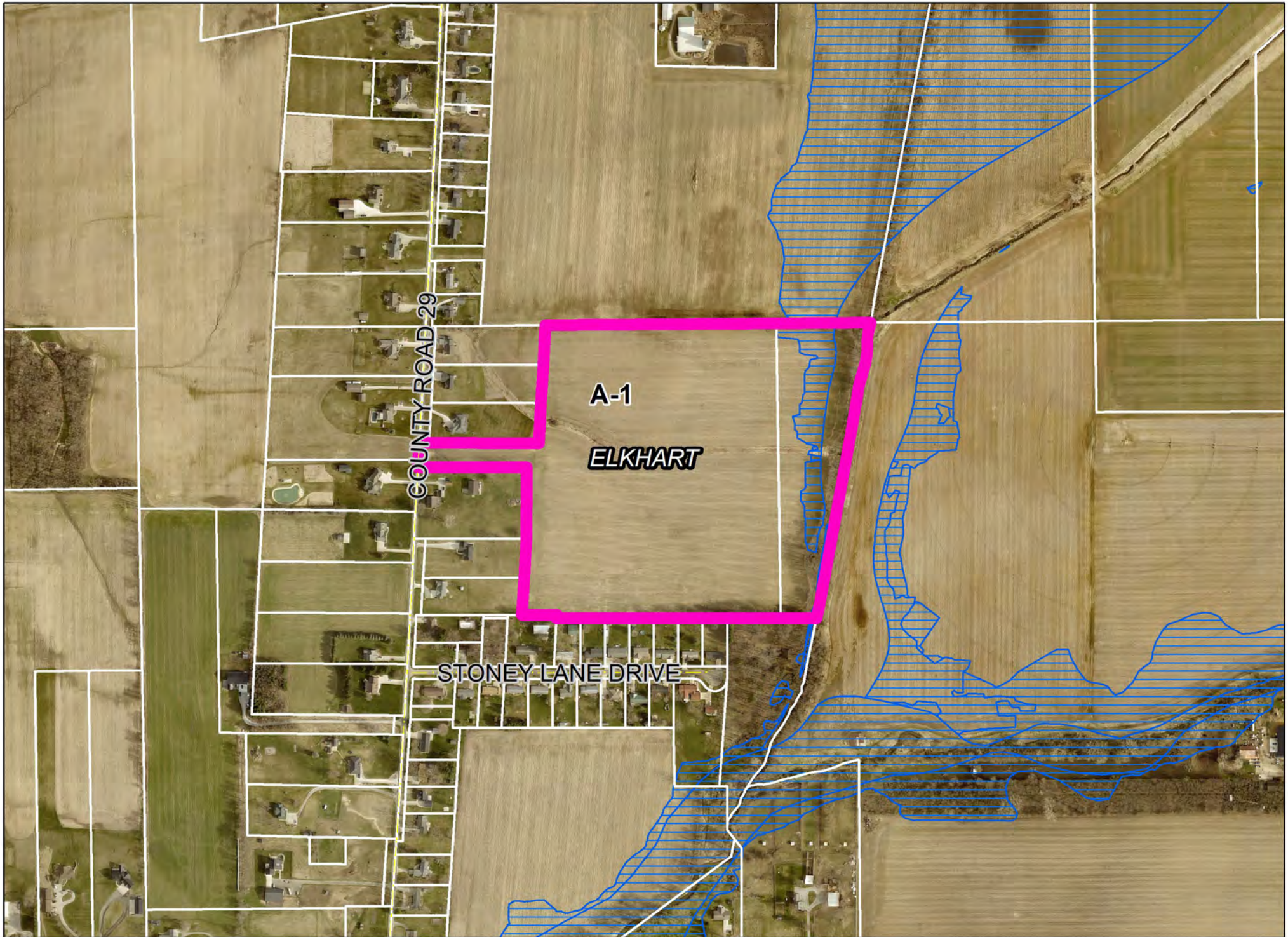


A-1

ELKHART

COUNTY ROAD 29





ON-SITE SOILS

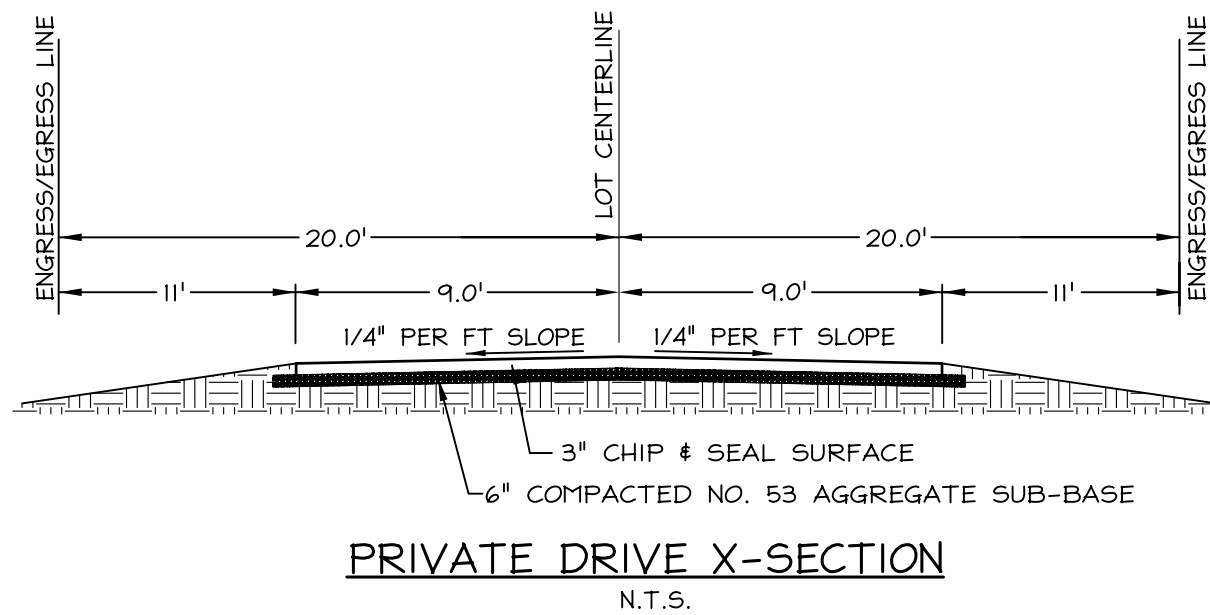
BshA - BRADY SANDY LOAM, 0-1% SLOPES
LIMITATIONS ARE SEVERE FOR BASEMENTS, SEPTIC SYSTEMS AND ROADS
BtxA - BRISTOL LOAMY SAND, 1-2% SLOPES
LIMITATIONS ARE SLIGHT FOR BASEMENTS & ROADS; SEVERE FOR SEPTIC SYSTEMS
GczA - GILFORD SANDY LOAM, 0-2% SLOPES
LIMITATIONS ARE SEVERE FOR BASEMENTS, ROADS AND SEPTIC SYSTEMS
RopB - RIDDLES-OSHTIMO FINE SANDY LOAMS, 1-5% SLOPES
LIMITATIONS ARE MODERATE FOR BASEMENTS, ROADS AND SEPTIC SYSTEMS
RoqC2 - RIDDLES-OSHTIMO FINE SANDY LOAMS, 5-10% SLOPES
LIMITATIONS ARE MODERATE FOR BASEMENTS, ROADS AND SEPTIC SYSTEMS

OWNER & DEVELOPER

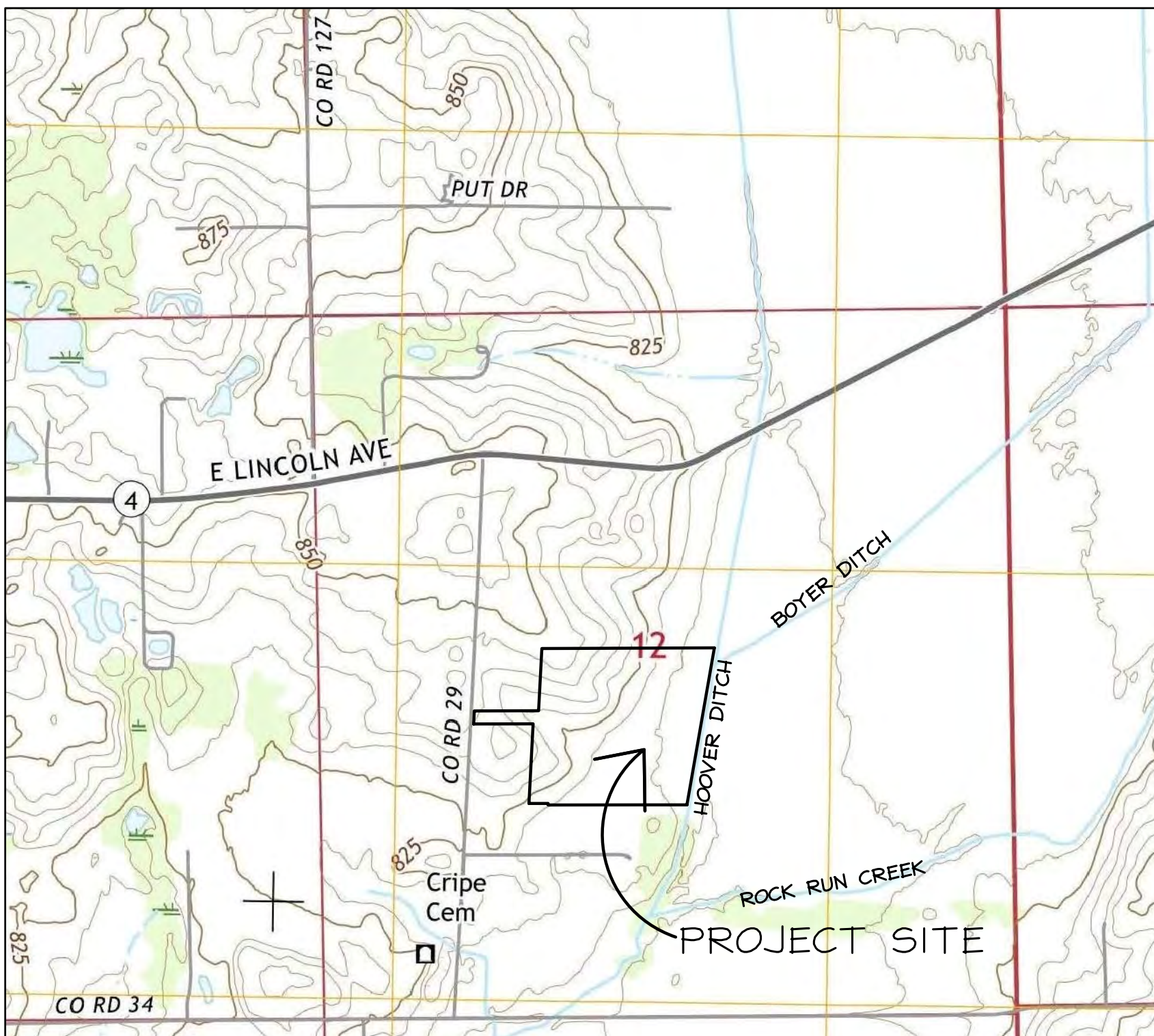
WARNER FARMS, INC
MR. STEVE WARNER
17580 STATE ROAD 4
GOSHEN, IN 46528
574-849-6080

LEGAL DESCRIPTION

A part of the South Half (S1/2) of Section 12, Township 36 North, Range 6 East, Elkhart Township, Elkhart County, State of Indiana, surveyed by Travis R. Shetler of Land and Boundary LLC, registration number LS21400008, as shown on a survey dated August 9, 2023 for project number 211201, and being more particularly described as follows:
Commencing at a Harrison monument marking the Southwest corner of the Southwest Quarter (SW1/4) of said Section 12; thence South 89°58'25" East along the South line of said Southwest Quarter (SW1/4) a distance of 986.22 feet; thence North 3°46'08" East a distance of 1460.12 feet to an iron pipe in the center of County Road 29; thence North 3°21'41" East along said centerline a distance of 618.38 feet to the Northwest corner of land deeded to Stanley and Marlene Gingerich in deed record 414 page 926 in the office of the Recorder of Elkhart County, marked by a mag nail and being the point of beginning of this description; thence continuing North 3°21'41" East along said centerline a distance of 1001.6 feet to the Southwest corner of Lot 3 of Rock Pointe Subdivision recorded in Plat Book 33 page 89 in said Recorder's Office, marked by a survey spike; thence South 89°50'19" East along the South line of said Lot 3 a distance of 490.04 feet to the Southeast corner thereof, marked by a rebar with cap inscribed "ABONMARCHÉ"; thence North 3°21'41" East along the East line of aforesaid Rock Pointe Subdivision a distance of 474.52 feet to the North line of the South Half (S1/2) of aforesaid Section 12, marked by a rebar with cap inscribed "BRADSKO 0041", said point also being the Northeast corner of Lot 5 of said Rock Pointe Subdivision; thence South 89°52'54" East along the North line of said South Half (S1/2) of Section 12 a distance of 1327.45 feet to the center of John M. Hoover Ditch, said center of ditch being 12.4 feet more or less Easterly of a line stake rebar with cap inscribed "BRADSKO 0041"; thence South 89°58'33" West along the North line of land deeded to Zane and Rose M. Gillin in instrument #2006-22545 in aforesaid Recorder's Office a distance of 367.62 feet to the Northeast corner of Rock Run Acres Third Subdivision recorded in Plat Book 18 page 50 in said Recorder's Office, marked by a rebar with cap inscribed "RLS 50484"; thence North 89°42'27" West along the North line of Rock Run Acres Third a distance of 701.75 feet to the Northwest corner thereof, marked by a rebar with cap inscribed "BRADSKO 0041"; thence North 3°44'33" East along the East line of Rock Run Acres 2nd Subdivision recorded in Plat Book 12 page 13 in said Recorder's office a distance of 12.02 feet to the Northeast corner thereof, marked by a rebar with cap inscribed "BRADSKO 0041"; thence North 89°42'27" West along the North line of said Rock Run Acres 2nd Subdivision a distance of 146.06 feet to the Southeast corner of aforesaid Rock Pointe Subdivision, marked by a rebar with cap inscribed "BRADSKO 0041"; thence North 3°21'41" East along the East line of said Rock Pointe Subdivision and the East line of aforesaid Gingerich land a distance of 607.42 feet to the Northeast corner of said Gingerich land, marked by a rebar with cap inscribed "BRADSKO 0041"; thence North 89°50'19" West along the North line of said Gingerich land a distance of 454.00 feet to the place of beginning of this description.
Containing 36.06 Acres of Land



PRIVATE DRIVE X-SECTION
N.T.S.



VICINITY MAP
SCALE: 1"=1,000'

LEGEND

- EXISTING CONTOURS
- DNR BAFL FLOODWAY
- DNR BAFL FLOOD FRINGE
- PROPOSED CONTOURS
- BUILDING SETBACK LINE (DIMENSIONS MEASURED FROM INGRESS/EGRESS EASEMENT)
- 10' UTILITY EASEMENT (MEASURED FROM INGRESS/EGRESS EASEMENT)
- 10' LANDSCAPE/SIGN EASEMENT

GENERAL NOTES

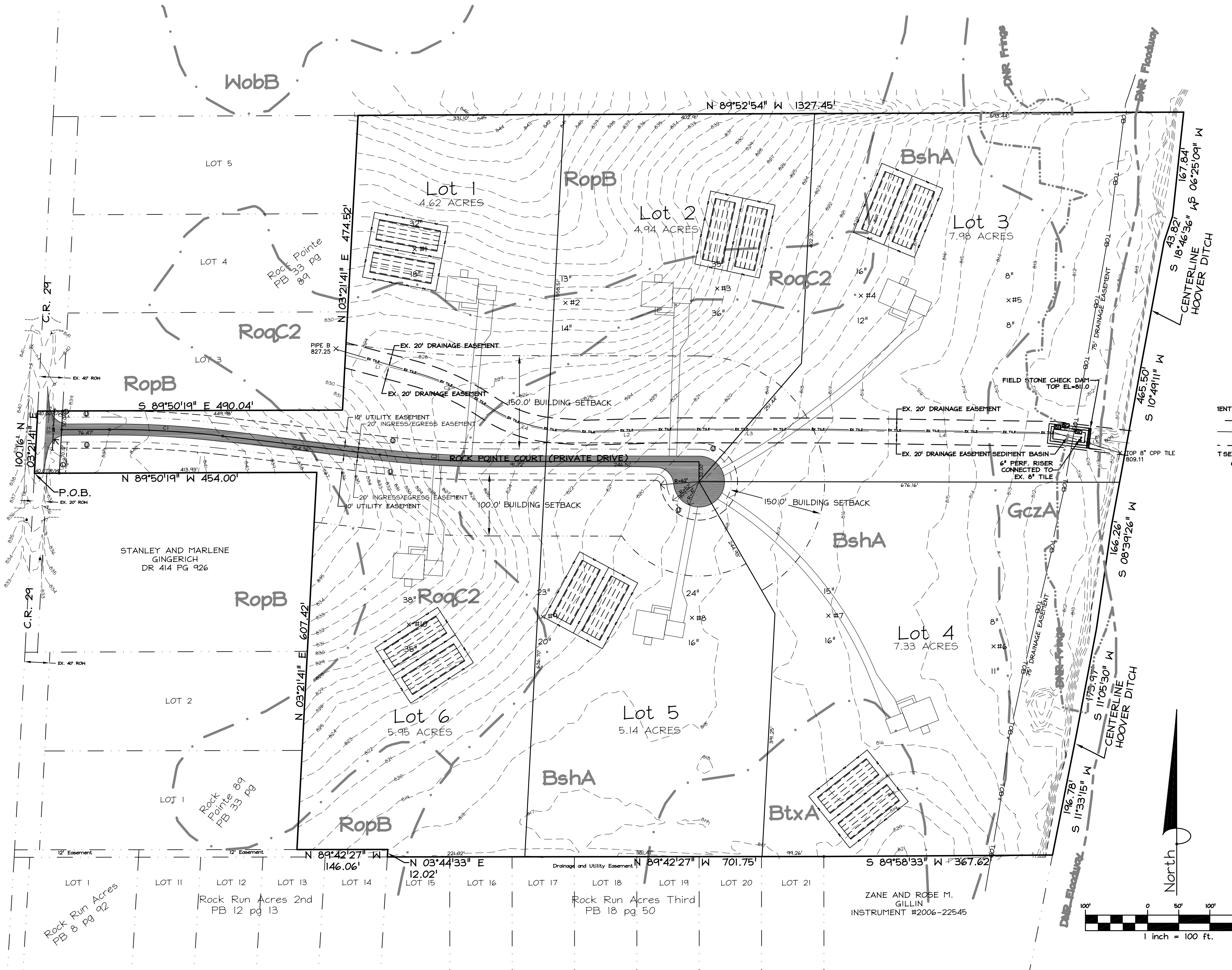
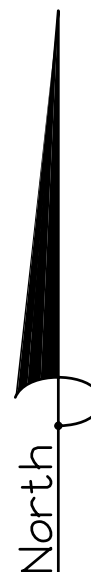
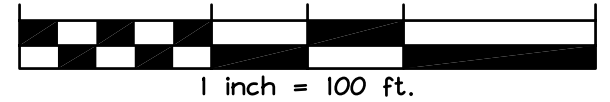
- EXISTING & PROPOSED ZONING: A-1
- ADJACENT ZONING: A-1
- MIN. BUILDING SETBACKS:
FRONT: 100' or 150' AS NOTED
SIDE: 10'
REAR: 15'
- VARIANCES: ROAD FRONTAGE
LOT 1 - 70' VARIANCE
LOT 2 THROUGH 5 - NO FRONTAGE VARIANCE
LOT 6 - 30' VARIANCE
- PHASING: IT IS ANTICIPATED TO BE DEVELOPED IN ONE PHASE
- LAND USE PERCENTAGE:
TOTAL PROJECT AREA = 36.06 ACRES
LOT AREA = 35.96 ACRES (99.7%)
RIGHT-OF-WAY AREA = 0.10 ACRES (0.3%)
- DENSITY:
6 LOTS ON 36.06 ACRES = 0.17 LOTS PER ACRE
LARGEST LOT = 7.98 ACRES (#3)
SMALLEST LOT = 4.62 ACRES (#1)
AVERAGE LOT SIZE = 5.99 ACRES
- SANITARY SEWER AND WATER SUPPLY:
EACH LOT WILL HAVE AN INDIVIDUAL SEPTIC FIELD SYSTEM AND PRIVATE WATER WELL APPROVED BY THE ELKHART COUNTY HEALTH DEPARTMENT.
- STREETS:
ACCESS WILL BE PROVIDED BY A PRIVATE DRIVE OWNED AND MAINTAINED COLLECTIVELY BY THE LOT OWNERS.
- RESTRICTIONS:
ADDITIONAL RESTRICTIONS ARE TO BE PREPARED AND RECORDED UPON SECONDARY APPROVAL.
- CONTOURS:
CONTOURS ON THIS SHEET WERE FIELD ESTABLISHED TO USGS DATUM
- FLOOD NOTE:
BASED ON SCALING FROM THE FLOOD INSURANCE RATE MAP OF ELKHART COUNTY, INDIANA, MAP NUMBER 18039C0258D, DATED 8/2/2011 AND MAP NUMBER 18039C0258D, DATED 8/2/2011 THE PROPERTY IS LOCATED PRIMARILY IN ZONE "X" WITH A SMALL PORTION IN ZONE "AE" NEAR THE WESTERN DITCH BOUNDARY AS SHOWN HEREON.
DNR BAFL ADDS FLOODWAY AND FLOOD FRINGE AS SHOWN.
- ALL BOUNDARY DIMENSIONS SHOWN ARE APPROXIMATE AND MAY CHANGE WITH COMPUTATION OF THE FINAL PLAT.

CURVE TABLE

NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	1500.00'	182.84'	N 86°41'36" W	182.73'
C2	1500.00'	175.47'	S 86°33'09" E	175.37'
C3	400.00'	133.91'	S 65°13'54" E	133.29'
C4	225.00'	117.36'	S 70°35'00" E	116.03'

LINE TABLE

NUMBER	LENGTH	CHORD DIRECTION
L1	110.18'	S 74°49'20" E
L2	136.48'	N 88°44'51" E
L3	259.40'	S 89°35'06" E
L4	360.48'	S 88°46'59" E
L5	121.45'	S 82°38'03" E



PROJECT: PROJECTS Warner Farm Rock Pointe Second Preliminary Planning

REVISIONS

1.	Make aluminum location changes 7/21/25
2.	
3.	
4.	

Rock Pointe Second

Preliminary Plan

697 Bungalow Dr.
Nappanee, IN 46550
Phone: 574-536-4048
Email: tim@innovativecommunities.com

innovative communities

TIMOTHY P. SAYLOR
REGISTERED
PROFESSIONAL ENGINEER
NO. 102000991
STATE OF INDIANA

Timothy P. Saylor, P.E.
7-23-25

SHEET NO. 1 OF 1

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: August 14, 2025

Transaction Number: RZ-0444-2025.

Parcel Number(s): 20-11-25-451-001.000-014.

Existing Zoning: A-1.

Petition: For a zone map change from A-1 to B-2.

Petitioner: Cesar Manuel Valdez.

Location: East side of US 33, 1,260 ft. north of CR 40, in Elkhart Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	A-1	Residential
North	A-1	Residential
South	DPUD B-3, DPUD R-1	RV Storage lot, Residential
East	DPUD B-3	RV Storage lot
West	City of Goshen, M-2	RV Storage lot, Manufacturing

Site Description: The property is made up of a single 1.25-acre parcel. It is rectangular in shape and has an existing residence (2,016 sq. ft.) and detached garage (576 sq. ft.).

History and General Notes:

➤ None.

Zoning District Purpose Statement: The purpose of the B-2, General Business, zoning district is to accommodate a variety of medium intensity retail, commercial, service, dining and entertainment uses. The zoning district may serve as a transitional district between less intense commercial uses and limited manufacturing uses.

Staff Analysis: The purpose of this rezoning petition is to allow a business use to be run on the property.

Plan Commission Staff Report (Continued)

Hearing Date: August 14, 2025

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. The plan calls for commercial development to be directed to urban growth areas and in designated transportation corridors.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. The proposed zoning will be transitional between the heavier commercial and manufacturing uses and the adjacent residential parcels.
3. The most desirable use of the subject property is residential, commercial, and/or other compatible and supporting uses.
4. The request conserves property values. The B-2 zoning district limits the intensity of the uses for the adjacent residential properties.
5. The proposed rezoning promotes responsible growth and development. The rezoning directs business growth to an existing commercial area on a major transportation corridor adjacent to Goshen City limits.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Rezoning - Rezoning

Date: 07/07/2025 Meeting Date: August 14, 2025
Plan Commission Hearing (Rezoning) Transaction #: RZ-0444-2025

Description: FOR A ZONE MAP CHANGE FROM A-1 TO B-2

Contacts: Applicant Land Owner
Cesar Manuel Valdez Cesar Manuel Valdez
57105 County Road 21 57105 County Road 21
Goshen, IN 46528 Goshen, IN 46528

Site Address: 65764 Us Highway 33 Parcel Number: 20-11-25-451-001.000-014
Goshen, IN 46528

Township: Elkhart
Location: East Side Of Us 33, 1260 ft. North Of County Road 40

Subdivision: Lot #

Lot Area: 1.25 Frontage: 148.00 Depth: 330.00

Zoning: A-1 NPO List:

Present Use of Property: RESIDENTIAL

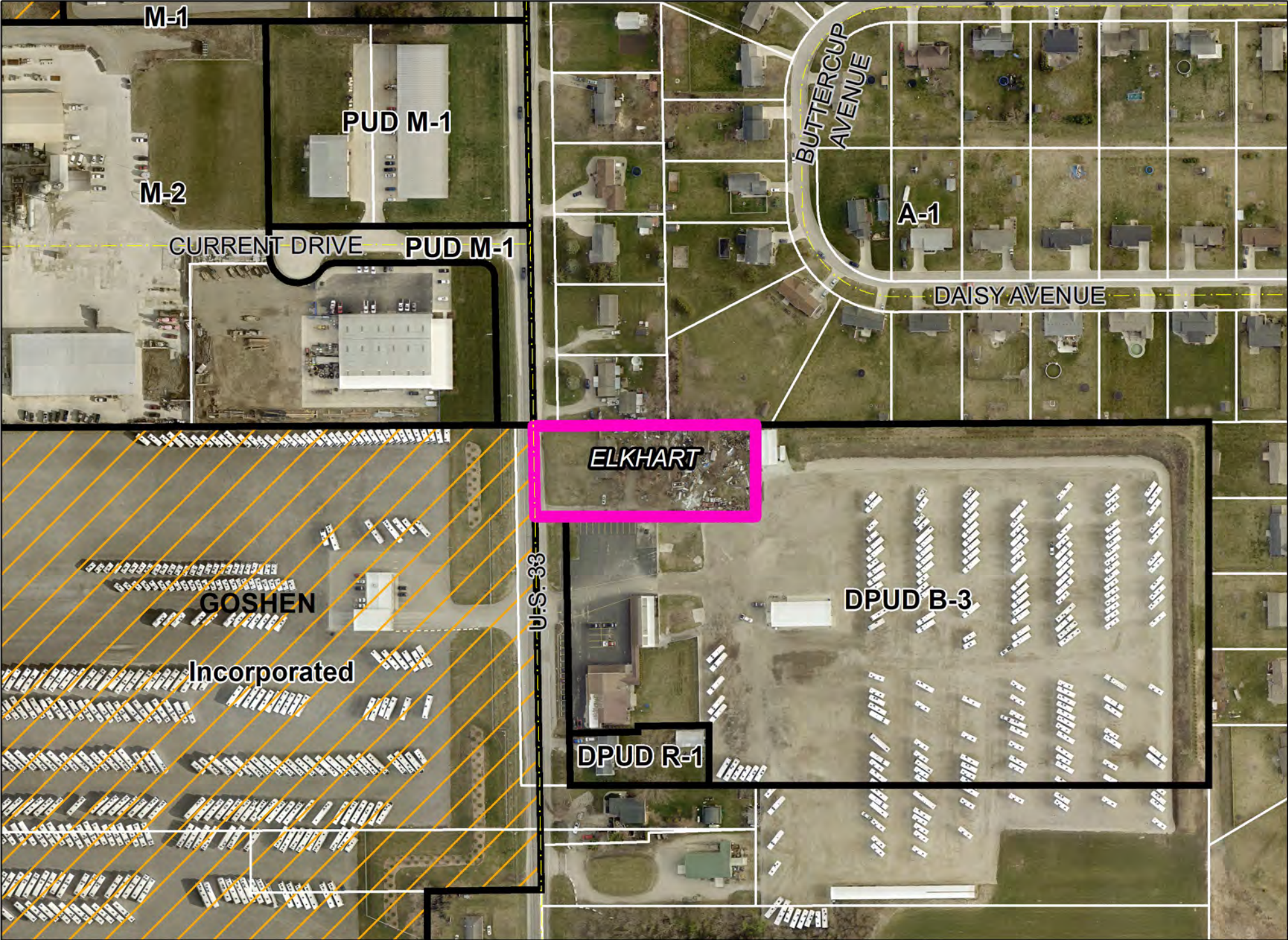
Legal Description:

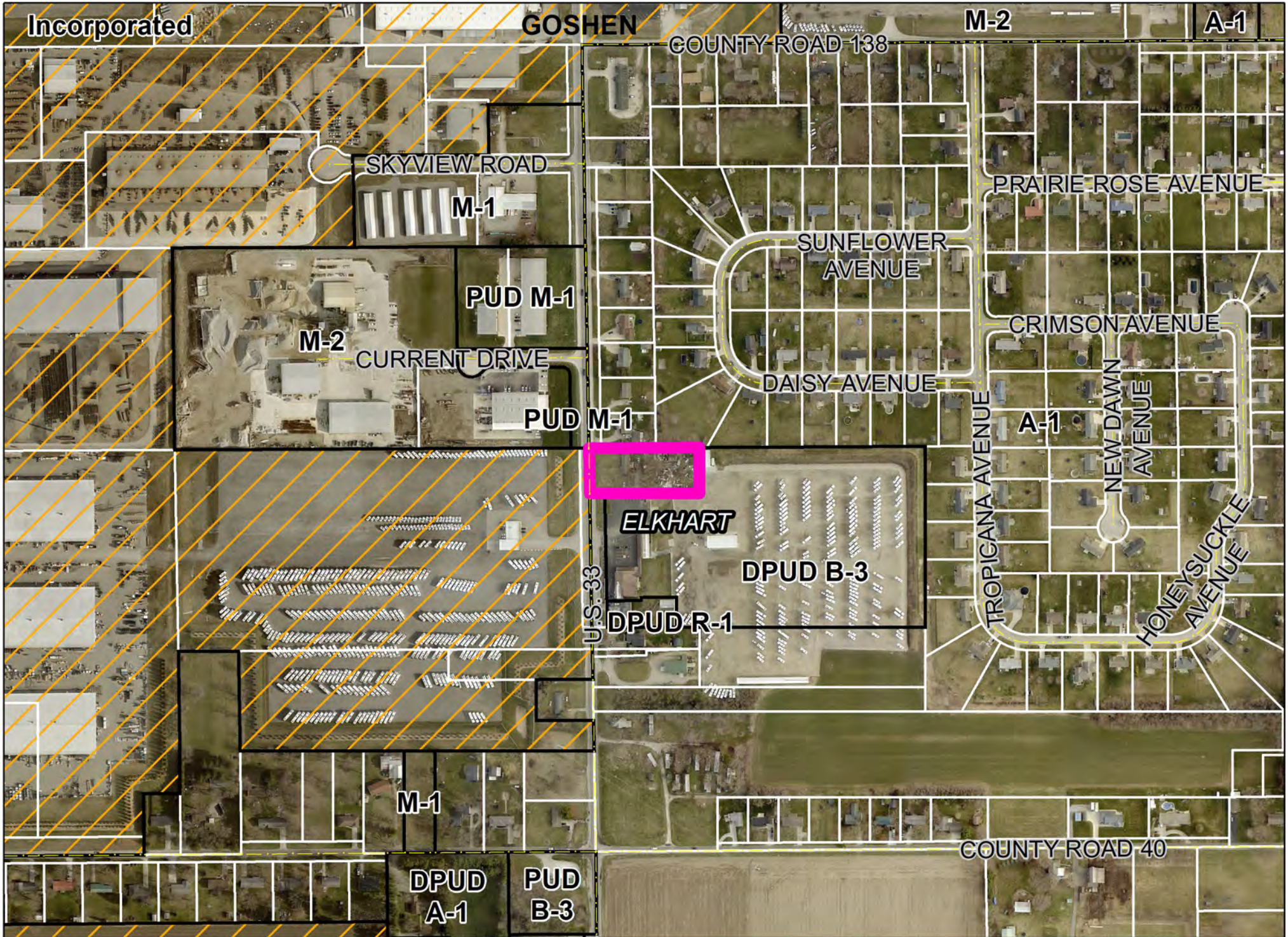
Comments:

Applicant Signature:

Department Signature:





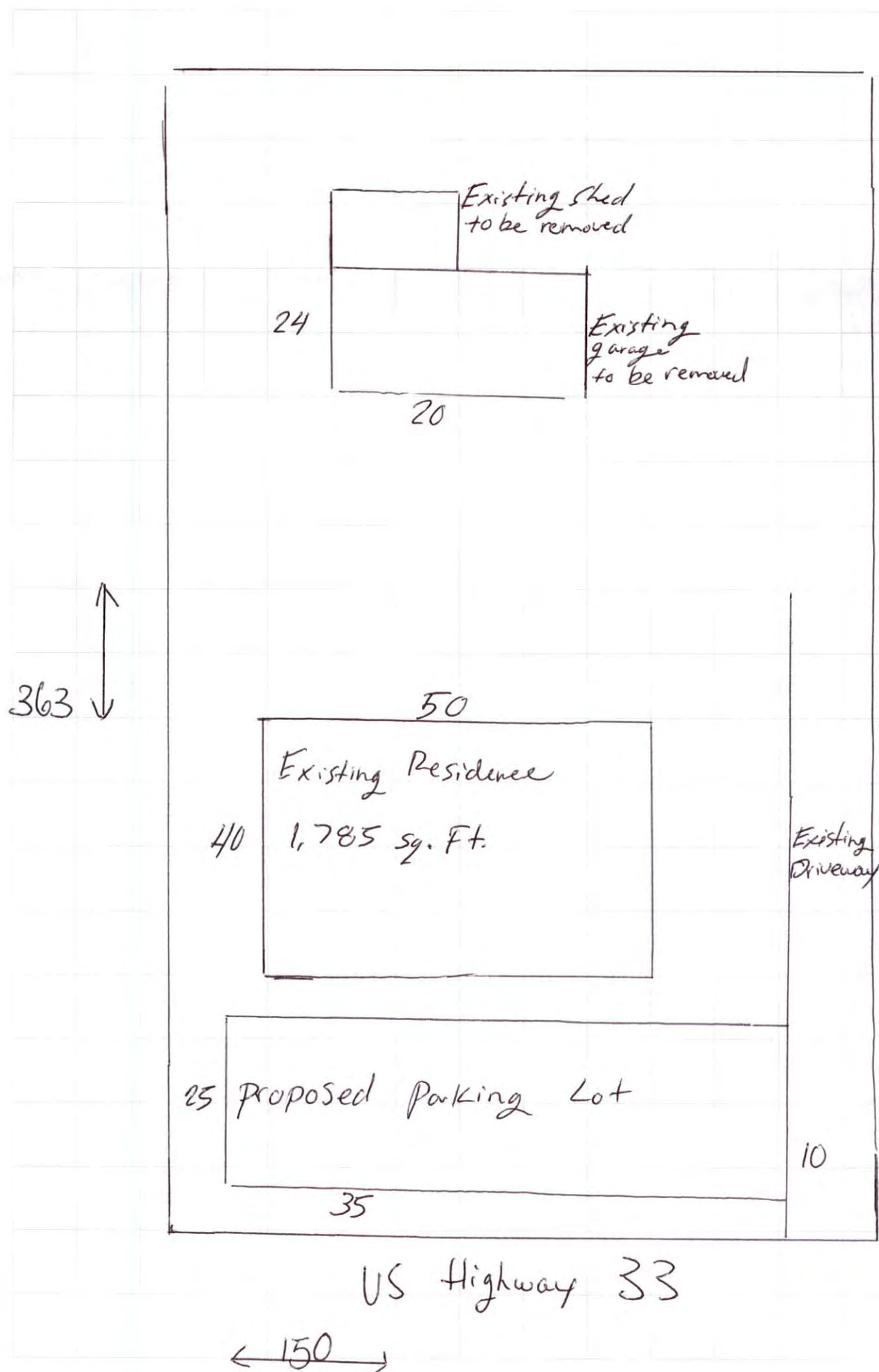


Name: CESAR M. VALDEZ

Site address: 65764 US 33 GOSHEN IN 46526

Subdivision and lot number: RESIDENTIAL SITE BUILT HOME

Parcel number: 20-11-25-451-001000



Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: August 14, 2025

Transaction Number: DPUD-0445-2025.

Parcel Number(s): 20-15-04-200-008.000-018, 20-15-04-200-014.000-018.

Existing Zoning: DPUD B-3 & GPUD B-3.

Petition: For a zone map change from DPUD B-3 & GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as BROOKVIEW FARMS PHASE 1 DPUD B-3 AMENDMENT.

Petitioner: Conservative Business Concepts LLC, represented by Abonmarche Consultants.

Location: Northeast corner of Fernbrook Rd. & CR 142, west side of SR 15, in Jackson Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	GPUD B-3 & DPUD B-3	Vacant & Commercial
North	GPUD B-3	Vacant
South	R-1	Residential
East	R-1	SR 15
West	R-1	Vacant

Site Description: The subject property consists of two parcels totaling 2.21 acres. The 1.51-acre parcel features a 2,536 sq. ft. dental office, and the 0.7-acre parcel is vacant.

History and General Notes:

- **April 5, 2004** – The Board of County Commissioners approved a zone map change from R-1 to GPUD B-3 (PC 2004-13).
- **June 6, 2005** – The Board of County Commissioners approved a zone map change from GPUD B-3 to DPUD B-3 to be known as Brookview Farms - Phase One DPUD (PC 2005-15).

Zoning District Purpose Statements: The purpose of the DPUD, Detailed Planned Unit Development, Overlay zoning district, is to allow an applicant the benefit of flexibility in development in exchange for increased public or private amenities that go beyond the requirements of the Development Ordinance. The purpose of the B-3, Heavy Business, zoning district is to accommodate higher-impact community and regional developments. The district also accommodates uses related to vehicular travel, interstate commerce, heavy equipment, trucking, and outdoor storage. The zoning district is appropriately applied adjacent to interstates and major state or county highways.

Staff Analysis: The purpose of this rezoning petition is to expand the property to allow for a new 3,021 ft² building addition, additional parking, and a new stormwater retention area.

Plan Commission Staff Report (Continued)

Hearing Date: August 14, 2025

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. Commercial development in the county should be directed to Urban Growth Areas and in designated transportation corridors, to take advantage of their proximity to municipal infrastructure. The property is in the New Paris area along SR 15.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. The subject property is a commercial property with an existing dental office in a mixed-use area.
3. The most desirable use of the subject property is commercial and/or other compatible and supporting uses.
4. The request conserves property values by allowing an existing commercial property to expand under the appropriate zoning district.
5. The proposed rezoning promotes responsible growth and development. The proposed rezoning promotes responsible growth and development. The DPUD limits the use and details contained in the petition, site plan/support drawing, and PUD ordinance. The property is served by public sewer from the New Paris Conservancy District.

Staff Analysis Continued: The staff, after reviewing this petition with the assistance of the Elkhart County Technical Committee, recommends **APPROVAL** of this DPUD amendment and primary plat as the development meets all pertinent standards.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Detailed PUD Amendment - Rezoning, Plat & Site Plan

Date: 07/07/2025 Meeting Date: August 14, 2025 Transaction #: DPUD-0445-2025
Plan Commission Hearing (PUD)

Description: For a zone map change from GPUD B-3 to DPUD B-3, and for primary approval of a 1-lot minor subdivision to be known as BROOKVIEW FARMS PHASE 1 DPUD B-3 Amendment

Contacts: <u>Applicant</u>	<u>Land Owner</u>	<u>Private Surveyor</u>
Abonmarche Consultants	Conservative Business	Abonmarche Consultants
303 River Race Dr. Suite 206	Concepts Llc	303 River Race Dr. Suite 206
Goshen, IN 46526	642 N Opportunity Dr #101	Goshen, IN 46526
	Columbia City, IN 46725	

Site Address: 67470 Fernbrook Rd New Paris, IN 46553	Parcel Number: 20-15-04-200-008.000-018 20-15-04-200-014.000-018
---	---

Township: Jackson
Location: Northeast Corner Of Fernbrook Rd & County Road 142 & West Side Of Sr 15

Subdivision: BROOKVIEW FARMS PHASE I	Lot #
--------------------------------------	-------

Lot Area:	Frontage:	Depth:
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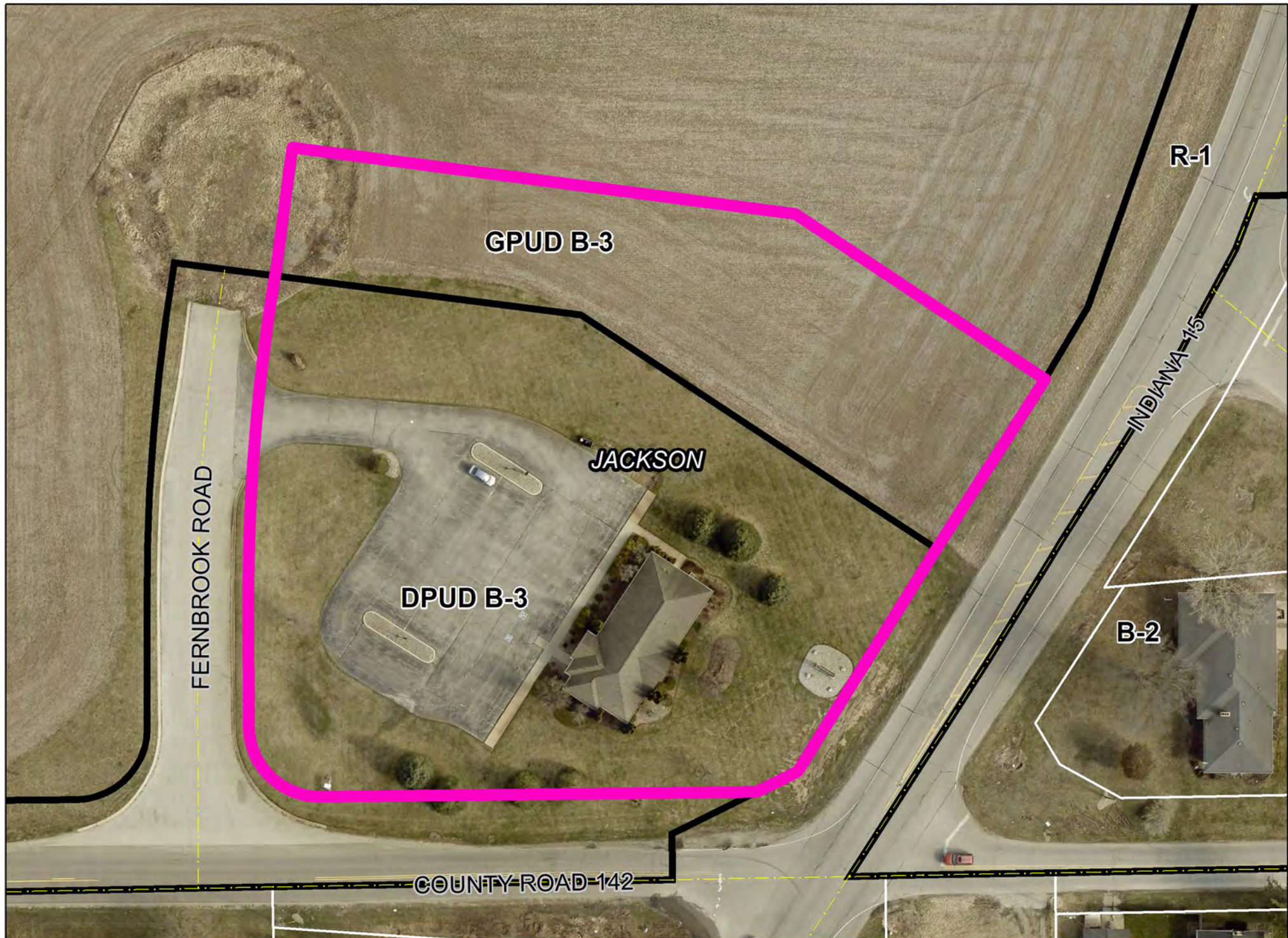
Zoning: B-3, DPUD B-3, GPUD	NPO List:
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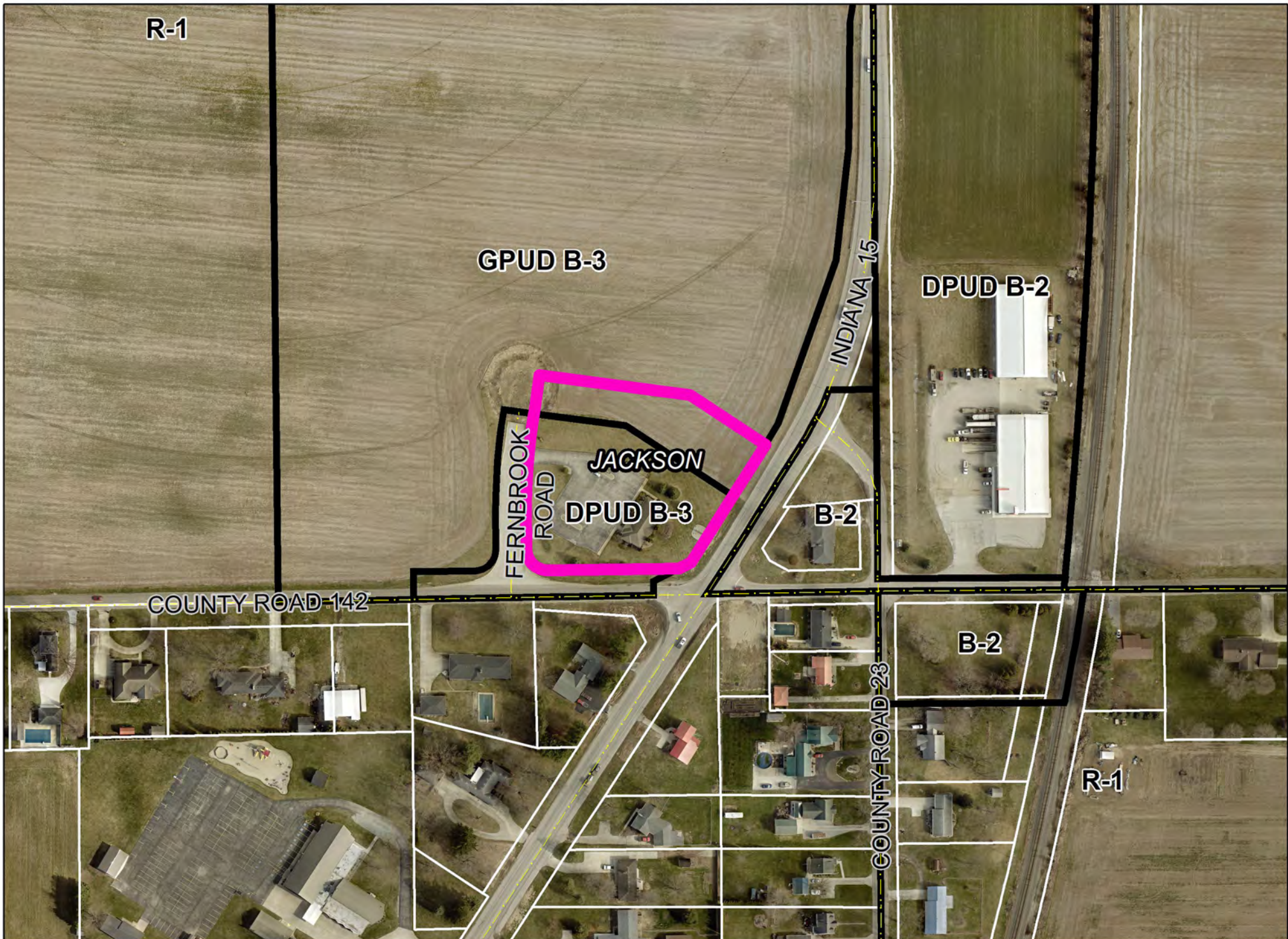
Present Use of Property: COMMERCIAL

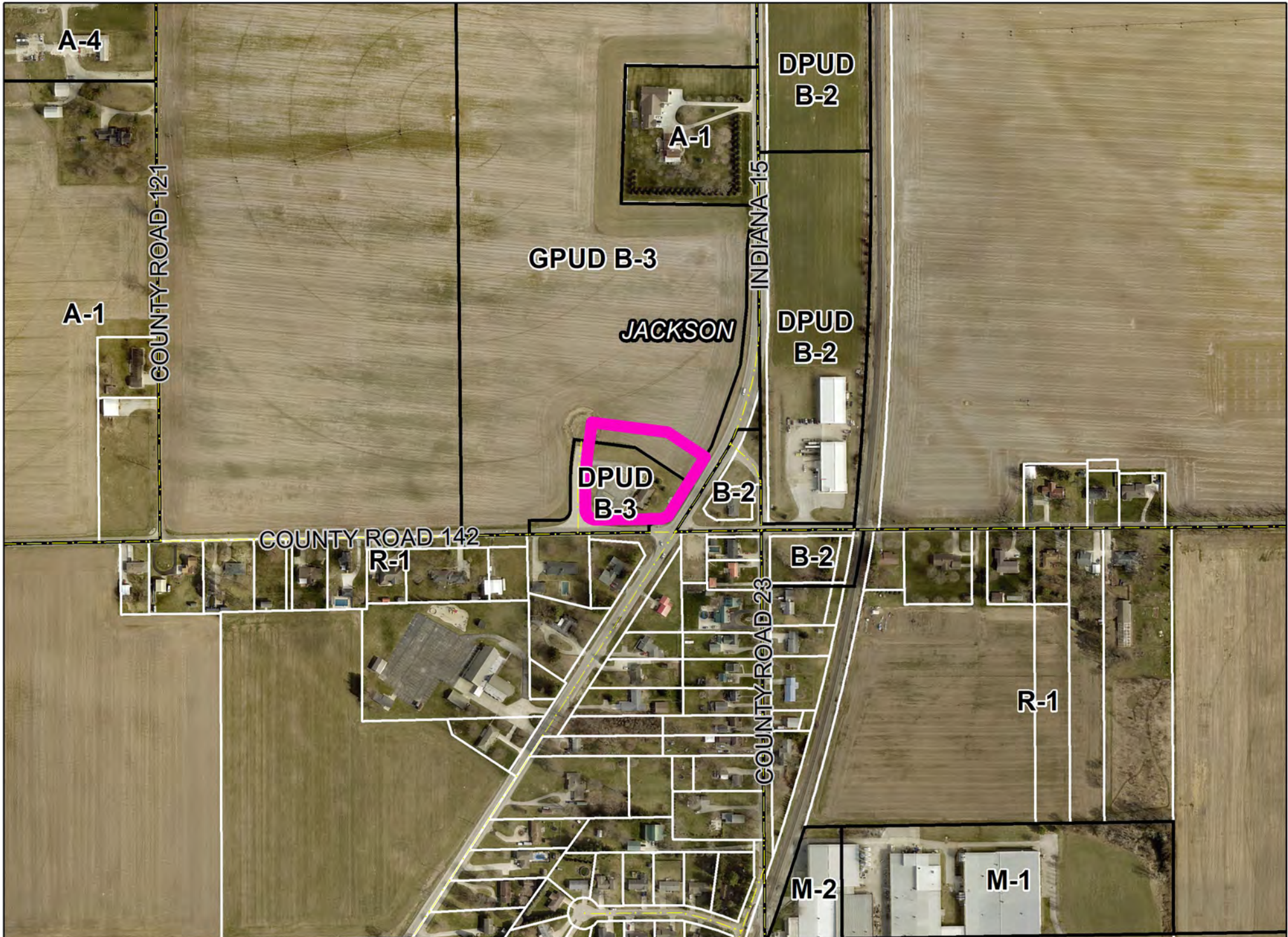
Legal Description:

Comments: SN-2800-2021 NEEDS ELECTRICAL INSPECTION FOR SIGN

Applicant Signature:	Department Signature:
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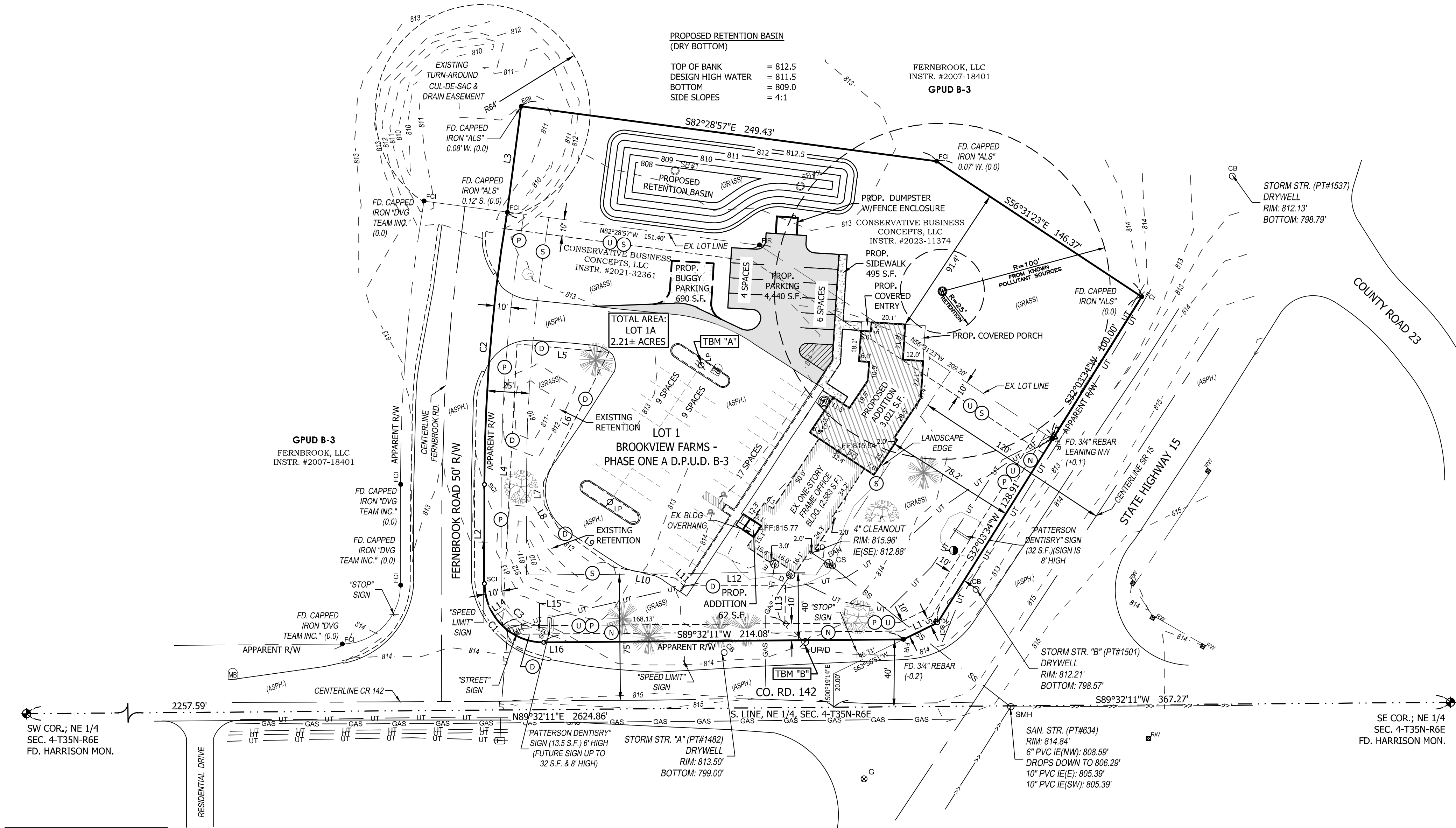


G:\PROJECTS\2025\25-0788\PATTERSON FAMILY DENTISTRY DPUD AMENDMENT\10 SURVEY\18 CAD\PLANS\25-0788 DPUD PRELIMINARY.DWG DPUD PG 1 TANYA MILLER 7.25.2025 8:40 AM

BROOKVIEW FARMS - PHASE ONE DPUD B-3 AMENDMENT

SITE PLAN/ SUPPORT DRAWING

LOT 1 OF BROOKVIEW FARMS - PHASE ONE DPUD B-3 (PLAT BOOK 30, PAGE 54) AND
A PART OF THE FRACTIONAL NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 35 NORTH,
RANGE 6 EAST, JACKSON TOWNSHIP, ELKHART COUNTY, INDIANA
ADDRESS: 67470 FERNBROOK ROAD, NEW PARIS, IN 46553
TAX ID#: 20-15-04-200-008.000-018 & 20-15-04-200-014.000-018



LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	22.71'	S63°56'51\"W
L2	58.99'	N00°00'00\"E
L3	63.46'	N07°31'03\"E
L4	168.08'	N02°57'25\"E
L5	54.87'	S84°46'12\"E
L6	86.49'	S26°42'44\"W
L7	13.25'	S01°31'44\"E
L8	16.32'	S31°18'13\"E
L9	40.08'	S54°19'05\"E
L10	37.86'	S79°55'39\"E
L11	6.15'	S47°45'00\"E
L12	60.88'	N90°00'00\"E
L13	22.92'	S01°02'57\"W
L14	8.00'	N56°28'24\"E
L15	27.03'	S69°04'17\"E
L16	15.33'	N89°32'11\"E

LEGEND-CONT'D

- (S) MINIMUM BUILDING SETBACK (AS NOTED)
- (P) 10' PARKING SETBACK FROM R/W LINE
- (D) DRAINAGE EASEMENT (AS NOTED)
- (N) 5' NON-ACCESS EASEMENT
- (U) 10' DRAINAGE & UTILITY EASEMENT

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	55.26'	35.00'	90°27'49\"	N45°13'54\"W	49.70'
C2	162.93'	975.00'	9°34'29\"	N04°47'15\"E	162.74'
C3	16.75'	27.00'	35°32'41\"	S51°17'56\"E	16.48'

BENCHMARKS

No.	Description	Elevation
TBM "A"	"X" CUT IN W. SIDE OF LIGHT POLE BASE IN ISLAND	814.82'
TBM "B"	RAILROAD SPIKE IN N. FACE OF POWER POLE #1069315 @ NW CORNER SR 15 AND CR 142	814.85'

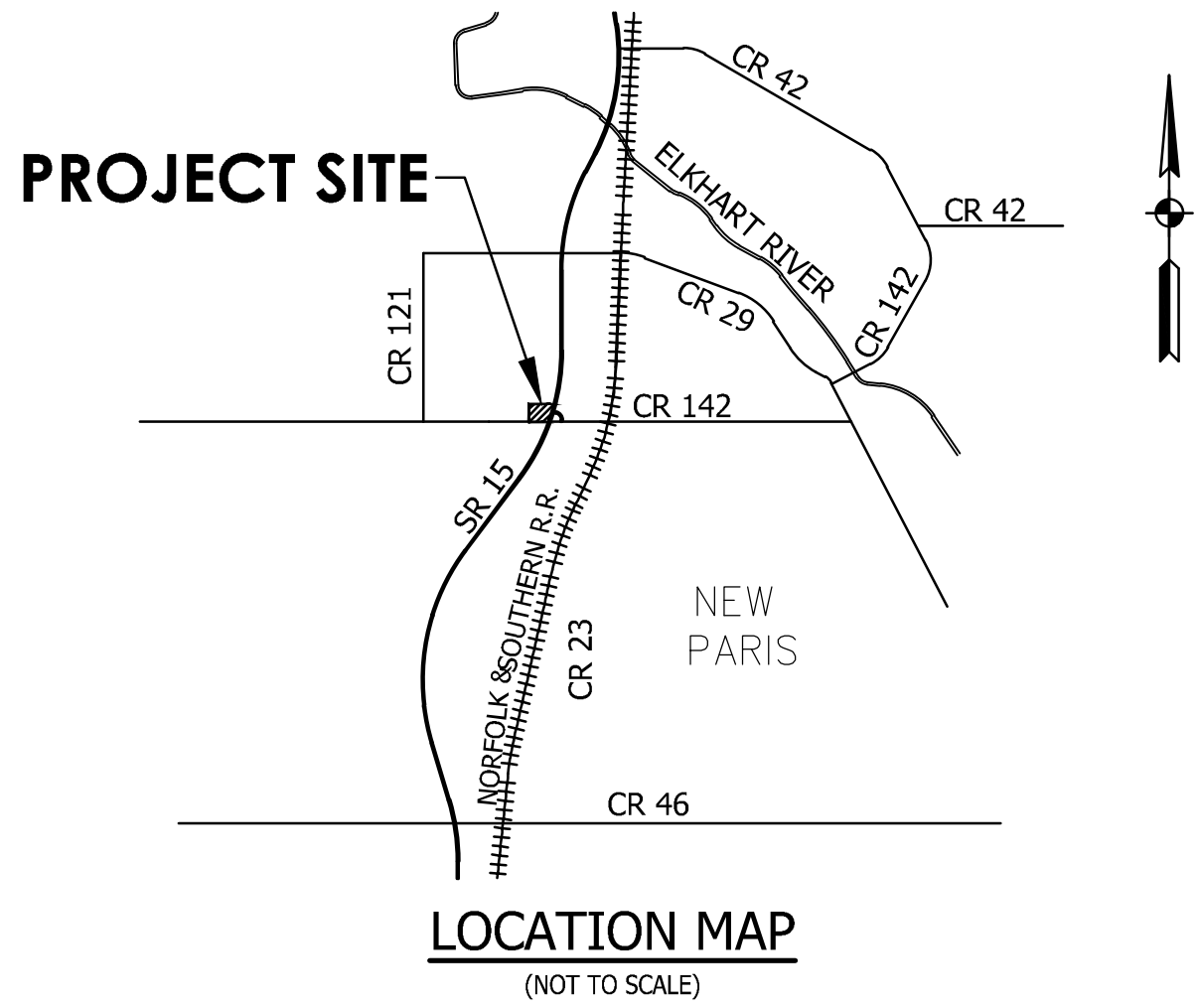
OWNER
CONSERVATIVE BUSINESS CONCEPTS, LLC
642 N. OPPORTUNITY DRIVE #101
COLUMBIA CITY, IN 46725

UTILITY INFORMATION

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. FIELD SURVEY INFORMATION CONSISTING OF PAINT MARKINGS FOUND ON THE GROUND PER THE INDIANA UNDERGROUND PLANT PROTECTION SERVICE (IUPPS - 811). THE PAINT MARKINGS SHOWN HEREON AS EVIDENCE OF PROBABLE UNDERGROUND UTILITY LOCATIONS AND ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS. THE USER OF THIS PLAT/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK. THE SURVEYOR MAKES NO GUARANTEES THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



CALL 811 OR (800) 368-5894
24 HOURS A DAY, SEVEN DAYS A WEEK



LEGAL DESCRIPTION-PER INSTR. #2021-32361

LOT 1 IN BROOKVIEW FARMS PHASE ONE DPUD B-3, AN ADDITION IN THE JACKSON TOWNSHIP IN ELKHART COUNTY, AS PER PLAT THEREOF, RECORDED OCTOBER 4, 2005 IN PLAT BOOK 30, PAGE 54, IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA.

AND ALSO;

LEGAL DESCRIPTION-PER INSTR. #2023-11374

A PART OF THE FRACTIONAL NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 35 NORTH, RANGE 6 EAST, JACKSON TOWNSHIP, ELKHART COUNTY, INDIANA, SURVEYED BY RONNIE L. JUSTICE, REGISTRATION NUMBER 80900004, WITH ADVANCED LAND SURVEYING OF NORTHERN INDIANA INC., AS SHOWN ON PROJECT NUMBER 230506 CERTIFIED ON JUNE 13, 2023, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

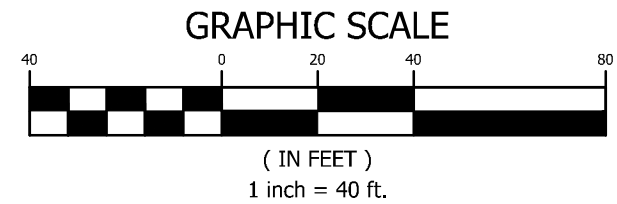
BEGINNING ON A REBAR WITH CAP STAMPED ALS FIRM 0135 AT THE NORTHWEST CORNER OF LOT NUMBER ONE (1) OF BROOKVIEW FARMS-PHASE ONE A D.P.U.D. B-3 AS RECORDED IN PLAT BOOK 30, PAGE 54 IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA; THENCE NORTH 07 DEGREES 28 MINUTES 03 SECONDS EAST, 63.46 FEET TO A REBAR WITH CAP STAMPED ALS FIRM 0135; THENCE SOUTH 82 DEGREES 28 MINUTES 57 SECONDS EAST, 249.43 FEET TO A REBAR WITH CAP STAMPED ALS FIRM 0135; THENCE SOUTH 82 DEGREES 31 MINUTES 23 SECONDS EAST, 146.37 FEET TO A REBAR WITH CAP STAMPED ALS FIRM 0135 SET ON THE WESTERLY RIGHT OF WAY OF STATE HIGHWAY 15; THENCE SOUTH 32 DEGREES 03 MINUTES 34 SECONDS WEST, ALONG SAID RIGHT OF WAY, 100.00 FEET TO A REBAR WITH CAP STAMPED BRADS-KO AT THE NORTHEAST CORNER OF SAID LOT NUMBER ONE (1); THENCE NORTH 56 DEGREES 31 MINUTES 23 SECONDS WEST, ALONG THE NORTH LINE OF SAID LOT NUMBER ONE (1), 209.20 FEET TO A REBAR WITH CAP STAMPED BRADS-KO FOUND; THENCE NORTH 82 DEGREES 28 MINUTES 57 SECONDS WEST, ALONG THE NORTH LINE OF SAID LOT NUMBER ONE (1) A DISTANCE OF 151.40 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, SAID TRACT CONTAINS 0.70 ACRES, MORE OR LESS.

LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- CONTROL POINT
- TEMPORARY BENCHMARK
- EXISTING GROUND CONTOURS
- HARRISON MARKER
- SET 3/4" CAPPED REBAR, "ABONMARCHÉ FIRM #0050"
- FOUND CAPPED IRON
- FOUND IRON ROD
- FOUND R/W MONUMENT
- BOULDER / LARGE ROCK
- CONIFER TREE
- DECIDUOUS TREE
- UTILITY TUB
- HAND HOLE
- UTILITY POLE W/ DROP
- TELEPHONE PEDESTAL
- ADA PARKING SPACE
- WATER CURB STOP
- WELL HEAD
- WATER SPIGOT

LEGEND-CONT'D

- FINISH FLOOR ELEVATION
- AC UNIT
- MAILBOX
- TRAFFIC SIGN
- STREET SIGN
- SANITARY MANHOLE
- SANITARY ACCESS LID
- SANITARY CLEANOUT
- CATCH BASIN
- ELECTRIC METER
- GAS METER
- GAS VALVE
- LIGHT POLE
- ELECTRIC OUTLET
- IRRIGATION CONTROL VALVE
- BURIED ELECTRIC
- BURIED TELEPHONE LINE
- GAS LINE



1	REVISED PER COUNTY TECH REVIEW	TRM	07-25-2025
NO.	REVISION DESCRIPTION:	BY:	DATE:

ABONMARCHÉ
303 River Race Drive, Unit 204
Columbus, IN 47332
P: 317.553.9411
F: 317.553.9411
abonmarche.com

Benton Harbor
South Bend
Elkhart
Fort Wayne
Lafayette

Vaporario
Hobart
Kokomo
Mishawaka
Grand Haven
Grand Rapids

Engineering Architecture Land Surveying

**BROOKVIEW FARMS
PHASE ONE DPUD B-3
AMENDMENT**
67470 FERNBROOK ROAD, NEW PARIS, IN 46553

**DPUD AMENDMENT
SITE PLAN/SUPPORT DRAWING**

SHEET TITLE:

DRAWN BY:

TRM

FIELDBOOK:

CLB#16, PG 39

PM REVIEW:

BEM

QA/QC REVIEW:

CLB

DATE:

7/7/2025

SEAL:



SIGNATURE:

DATE:

SCALE:

1" = 40'

ACT JOB #

25-0789

SHEET NO.

1 OF 2

G:\PROJECTS\2025\25-0788 PATTERSON FAMILY DENTISTRY DPUD AMENDMENT\10 SURVEY\18 CAD\PLANS\25-0788 DPUD PRELIMINARY.DWG DPUD PG 2 TANYA MILLER 7.25.2025 8:40 AM

GENERAL NOTES

1. **ZONING & PROPOSED LAND USE**
ZONING FOR THIS PROPERTY IS DPUD B-3 (ORDINANCE NO. PC04-13) AND GPUD B-3 (VACANT PROPERTY TO NORTH OF LOT #1).
PROPOSED ZONING WOULD BE DPUD B-3 FOR THE ENTIRE PROJECT.
2. **INTENTION FOR OWNERSHIP**
A. **CURRENT OWNERSHIP**

THE PROJECT IS LOCATED NORTH OF C.R. 142 AND WEST OF STATE ROAD 15. THE CURRENT DPUD IS 1.51± ACRES, MORE OR LESS. THIS PROJECT WOULD EXPAND LOT 1 BY INCLUDING ADDITIONAL LAND TO THE NORTH (0.70± ACRES) THAT IS OWNED BY CONSERVATIVE BUSINESS CONCEPTS, LLC (INSTR. #2021-32361 (LOT #1) & (INSTR. #2023-11374 (0.70 ACRE PARCEL)).

B. **DEVELOPMENT OWNERSHIP**

THE OWNER WOULD LIKE TO EXPAND LOT 1 OF BROOKVIEW FARMS PHASE ONE DPUD B-3 TO:

ADD THE VACANT LOT TO THE NORTH OF THE CURRENT DPUD BOUNDARY INTO THE DPUD
UPDATE THE SITE PLAN TO ADD ADDITIONAL PARKING AND BUGGY PARKING
UPDATE THE PLAN TO ADD A 3,021 SQ. FT. ADDITION TO THE EXISTING DENTISTRY BUILDING
UPDATE AND ADD A NEW STORMWATER RETENTION BASIN FOR THE PROPOSED BUILDING AND PARKING ADDITIONS
3. **DEVIATION REQUEST-** NONE ANTICIPATED AT THIS TIME
4. **SETBACKS - "B-3" ZONING DISTRICT ELKHART COUNTY**
FRONT YARD = 55 FEET FROM CENTERLINE OF C.R. #142 & 120 FEET FROM CENTERLINE OF STATE ROAD 15
SIDE YARD = 10 FEET
REAR YARD = 15 FEET

PARKING SETBACK = 10 FEET FROM RIGHT-OF-WAY LINE OR 55 FEET FROM CENTERLINE OF RIGHT-OF-WAY WHICHEVER IS GREATER.
5. **COMPATIBILITY**
THE PROPERTY IS USED AS DENTIST OFFICE AND WILL BE CONSISTENT WITH THE ZONING USES OF THE SITE AND SURROUNDING AREA.
6. **DENSITY**

EXISTING BUILDING	2,583± SF	0.06± ACRES	2.67%
PROPOSED BUILDING	3,083± SF	0.07± ACRES	3.21%
EXISTING CONCRETE/ASPH	18,103± SF	0.42± ACRES	18.82%
PROPOSED CONCRETE/ASPH	4,204± SF	0.10± ACRES	4.34%
EXISTING GRAVEL	1,025± SF	0.02± ACRES	1.09%
PROPOSED GRAVEL	880± SF	0.02± ACRES	0.90%
LAWN AND PASTURE	66,375± SF	1.52± ACRES	68.97%
TOTAL	96,253± SF	2.21± ACRES	100.0%
7. **WATER AND SEWAGE DISPOSAL**
THIS PROJECT IS SERVICED BY THE NEW PARIS CONSERVANCY DISTRICT SANITARY SEWER SYSTEM AND PRIVATE WATER WELL THAT IS ANTICIPATED TO BE REPLACED WITH A NEW WELL. THERE IS NO MUNICIPAL WATER IS NEAR THE SITE.

THE SOIL REPORT FROM SCHNOEBELEN'S SOIL CONSULTING FOR THE DRAINAGE IS ATTACHED.
9. **STORM WATER DRAINAGE REPORT**
PLEASE REFER TO THE REPORT ON THIS SHEET FOR THE PROPOSED RETENTION BASIN. STORMWATER DRAINAGE FOR THE PROPOSED BUILDING AND PARKING ADDITIONS WILL BE MANAGED ON-SITE.
10. **TRAFFIC REPORT**
THE SECTION OF C.R. 142 SERVICING THE PROPOSED SITE IS NEITHER CONSIDERED A PRIMARY OR A SECONDARY ROAD. THE SITE HAS ONE EXISTING DRIVE ON CR 142.
11. **SITE IMPROVEMENT REPORT**
AN EXPANDED PARKING LOT IS DESIGNED TO SERVE CUSTOMERS. THE PARKING REQUIREMENTS IS 1 SPACE PER 250 SF NET FLOOR AREA PLUS 1 SPACE PER EMPLOYEE.

2,086 SF OFFICE / 250 SF = 9 SPACES REQUIRED (EXISTING BUILDING)
2,464 SF OFFICE / 250 SF = 10 SPACE REQUIRED (PROPOSED BUILDING)
12 EMPLOYEES = 12 SPACES REQUIRED

TOTAL REQUIRED = 31 SPACES

PARKING PROVIDED = 43 SPACES (9' BY 20')
2 ADA SPACES (EXISTING)

LANDSCAPING
THE PROJECT IS SUBJECT TO ELKHART COUNTY STANDARDS FOR BOUNDARY BUFFER LANDSCAPING ADJACENT TO RESIDENTIAL USES WHERE APPLICABLE. THERE IS CURRENTLY BUSINESS ZONING USES ADJACENT TO THE NORTH AND WEST PROPERTY LINES; THEREFORE, NO BUFFER LANDSCAPING IS REQUIRED. LOT 1 WILL RETAIN ALL EXISTING LANDSCAPING POSSIBLE THAT IS NOT AFFECTED BY THE PROPOSED BUILDING & PARKING AREA.

SIGNAGE
THE EXISTING SIGN ON SR 15 WILL REMAIN UNCHANGED
THE EXISTING SIGN ON CR 142 WILL BE UPDATED TO BE ILLUMINATED AND UP TO 32 S.F. AND 8' HIGH
POTENTIAL WALL MOUNTED SIGN THAT WILL MEET B-3 REQUIREMENTS

LIGHTING
SITE LIGHTING WILL CONFORM TO ELKHART COUNTY REQUIREMENTS. THE EXISTING PROPERTY INCLUDES BUILDING MOUNTED LIGHTING WITH PARKING LOT LIGHT POLES. THE PROPOSED BUILDING AND PARKING ADDITIONS TO INCLUDE SIMILAR TYPE LIGHTING FOR CONSISTENCY.

FENCING
NO ADDITIONAL FENCING IS PROPOSED AT THIS TIME.
12. **BENCHMARK** (GPS DERIVED, 1988 VERTICAL DATUM)

TBM "A"- "X" CUT IN W. SIDE OF LIGHT POLE BASE IN ISLAND @ ELEVATION 814.82 FEET.
TBM "B" - RAILROAD SPIKE IN N. FACE OF POWER POLE #1069315 @ NW CORNER S.R. 15 AND C.R. 142 @ ELEVATION 814.85 FEET.
13. **CONTOURS**
TOPOGRAPHIC MAPPING UNITS ARE MEASURED AND DISPLAYED IN ENGLISH UNITS (US SURVEY FEET HORIZONTALLY AND NAVD 1988 VERTICALLY) ESTABLISHED BY GPS MEASUREMENTS.
14. **FLOOD NOTE**
THIS PARCEL IS NOT WITHIN 1% ANNUAL CHANCE FLOOD (SPECIAL FLOOD HAZARD AREA) AS SCALED AND DEPICTED ON THE FEMA/FIRM COMMUNITY PANEL NUMBER 18039C0264D WITH AN EFFECT MAP DATE OF AUGUST 2, 2011.
15. **ELEVATIONS OF BUILDINGS**
THE PROPOSED BUILDING ADDITION WILL MATCH THE FLOOR ELEVATION OF THE EXISTING BUILDING WITH THE FINISHED ADJACENT GRADE SET TO ENSURE ADEQUATE FLOW OF STORMWATER AWAY FROM THE FOUNDATION. THE PROPOSED BUILDING ADDITION WILL BE OF STANDARD CONSTRUCTION AND DESIGNED SEPARATELY BY AN ARCHITECT HIRED DIRECTLY BY THE PROPERTY OWNER.
16. **EROSION CONTROL PLAN**
AN EROSION CONTROL PLAN WILL BE PREPARED FOR THE CONTRACTOR TO FOLLOW DURING CONSTRUCTION, HOWEVER, AN EROSION CONTROL PERMIT IS NOT ANTICIPATED FOR THE PROPOSED PROJECT SINCE THERE IS LESS THAN ONE ACRE OF LAND DISTURBANCE CALCULATED FOR THE PROPOSED BUILDING AND PARKING ADDITIONS, AND NEW STORMWATER RETENTION BASIN.

IF THE AMOUNT OF ANTICIPATED LAND DISTURBANCE ENDS UP EXCEEDING MORE THAN ONE ACRE OF LAND, AN EROSION CONTROL PLAN/STORMWATER POLLUTION PREVENTION PLAN WILL BE PREPARED AND SUBMITTED TO ELKHART COUNTY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

BROOKVIEW FARMS - PHASE ONE DPUD B-3 AMENDMENT

SITE PLAN/ SUPPORT DRAWING

LOT 1 OF BROOKVIEW FARMS - PHASE ONE DPUD B-3 (PLAT BOOK 30, PAGE 54) AND
A PART OF THE FRACTIONAL NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 35 NORTH,
RANGE 6 EAST, JACKSON TOWNSHIP, ELKHART COUNTY, INDIANA
ADDRESS: 67470 FERNBROOK ROAD, NEW PARIS, IN 46553
TAX ID#: 20-15-04-200-008.000-018 & 20-15-04-200-014.000-018

STORMWATER DRAINAGE CALCULATIONS

THE FOLLOWING STORMWATER DRAINAGE CALCULATIONS ARE FOR THE PROPOSED RETENTION BASIN THAT WILL PROVIDE STORMWATER STORAGE FOR THE NEW BUILDING AND PARKING ADDITIONS FOR THE 100-YEAR, 24 HOUR STORM EVENT. THE EXISTING BUILDING AND PARKING DRAIN TO EXISTING RETENTION BASINS LOCATED ON THE WEST AND SOUTH SIDES OF THE EXISTING PARKING. THERE IS NO CHANGE TO THE EXISTING RETENTION BASINS WITH THIS PROPOSED PROJECT. THE FOLLOWING STORMWATER CALCULATIONS ARE BASED ON THE PUBLISHED STORM INTENSITIES CONTAINED IN THE CURRENT ELKHART COUNTY "GUIDELINES AND STANDARDS FOR DESIGN AND PUBLIC IMPROVEMENT, STREET STANDARDS" AND THE COUNTY'S SPREADSHEET USING THE RATIONAL METHOD.

ESTIMATED DRAINAGE AREA = 0.6± ACRES (FOR PROPOSED RETENTION BASIN)

ESTIMATED COVERAGE

PROPOSED BUILDING ADDITION (C=0.95) = 0.07± ACRES
PROPOSED HARD SURFACE (C=0.95) = 0.13± ACRES
PROPOSED RETENTION BASIN (C=1.00) = 0.10± ACRES
OPEN AREA / LANDSCAPE (C=0.30) = 0.30± ACRES
TOTAL = 0.6± ACRES

MODIFIED RUNOFF COEFFICIENT CALCULATIONS

C = ((0.07 + 0.13) x 0.95) + (0.10 x 1.00) + (0.30 x 0.30) = 0.63
0.6± Acres

SOIL BORINGS

SB#	SHWT	FWT	COMPACTED TILL
1	NONE	NONE/115"	NONE/115"
2	NONE	NONE/115"	NONE/115"

SHWT – SEASONAL HIGH WATER TABLE
FWT – FREE WATER TABLE
BY SCHNOEBELEN SOIL CONSULTING
07-02-2025

RETENTION STORAGE VOLUME CALCULATIONS

PROPOSED RETENTION BASIN					
ESTIMATED DRAINAGE AREA =		0.6	Acres		
RUNOFF COEFFICIENT, C =		0.63			
DESIGN RELEASE RATE =		0.00	cfs		
STORM DURATION (hours)	100 YEAR INTENSITY (in/hr)	INFLOW RATE (cfs)	RELEASE RATE (cfs)	STORAGE RATE (cfs)	REQUIRED STORAGE (cft)
0.25	6.47	2.46	0.00	2.46	2231
0.50	3.96	1.50	0.00	1.50	2731
0.75	2.71	1.03	0.00	1.03	2804
1	1.98	0.75	0.00	0.75	2731
2	1.55	0.59	0.00	0.59	4276
3	1.14	0.43	0.00	0.43	4718
4	0.92	0.35	0.00	0.35	5076
5	0.77	0.29	0.00	0.29	5311
6	0.67	0.25	0.00	0.25	5545
7	0.59	0.22	0.00	0.22	5697
8	0.53	0.20	0.00	0.20	5849
9	0.48	0.18	0.00	0.18	5959
10	0.44	0.17	0.00	0.17	6069
15	0.32	0.12	0.00	0.12	6621
20	0.25	0.10	0.00	0.10	6897
24	0.22	0.08	0.00	0.08	7283

Storm Intensities are referenced from the Elkhart County Street Standards, effective July 8, 2024.

STORAGE REQUIRED:		7.283	cft
		437	cft (6% siltation factor)
		0.18	Acre-Ft
STORAGE PROVIDED BELOW DESIGN HIGH WATER:		0.21	Acre-Ft
ADDITIONAL STORAGE (FREEBOARD):		0.14	Acre-Ft

PROPOSED RETENTION BASIN VOLUME (PER DESIGN PLAN CONTOURS)			
Contour	Area (sf)	Average (sf)	Volume (acre-ft)
809	2,065		
810	3,253	2,659	0.061
811	4,555	3,904	0.090
811.5	5,244	4,900	0.056
812	5,957	5,601	0.064
812.5	6,696	6,327	0.073
Volume Below 811.5 =		0.21	Acre-Ft
Volume of freeboard Between 812.5 to 811.5 =		0.14	Acre-Ft

OWNER
CONSERVATIVE BUSINESS CONCEPTS, LLC
642 N. OPPORTUNITY DRIVE #101
COLUMBIA CITY, IN 46725

UTILITY INFORMATION

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. FIELD SURVEY INFORMATION CONSISTING OF PAINT MARKINGS FOUND ON THE GROUND PER THE INDIANA UNDERGROUND PLANT PROTECTION SERVICE (IUPPS - 811). THE PAINT MARKINGS SHOWN HEREON AS EVIDENCE OF PROBABLE UNDERGROUND UTILITY LOCATIONS AND ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS. THE USER OF THIS PLAN/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK. THE SURVEYOR MAKES NO GUARANTEES THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



CALL 811 OR (800) 880-5854
24 HOURS A DAY, SEVEN DAYS A WEEK

LAND SURVEYOR'S CERTIFICATE

I, CAMERON L. BERON, HEREBY CERTIFY THAT I AM A LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, AND THAT THIS SURVEY WAS PERFORMED WHOLLY BY OR UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, WAS EXECUTED ACCORDING TO THE SURVEY REQUIREMENTS IN TITLE 865, ARTICLE 1.1, CHAPTER 12, SECTIONS 1 THROUGH 29 OF THE INDIANA ADMINISTRATIVE CODE (IAC).

I AFFIRM UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

Cameron L. Beron 7/7/2025
CAMERON L. BERON, P.S.
PROFESSIONAL SURVEYOR #LS21900005
STATE OF INDIANA

1	REVISED PER COUNTY TECH REVIEW	TRM	07-25-2025
NO.	REVISION DESCRIPTION:	BY:	DATE:

303 River Race Drive, Unit 204
Crown Point, IN 46032
P: 574.553.9711
abonmarche.com

Benton Harbor
South Bend
Elkhart
Fort Wayne
Lafayette

Valparaiso
Hobart
Mishawaka
Grand Haven
Grand Rapids

Engineering Architecture Land Surveying

BROOKVIEW FARMS
PHASE ONE DPUD B-3
AMENDMENT
67470 FERNBROOK ROAD, NEW PARIS, IN 46553

DPUD AMENDMENT
SITE PLAN/SUPPORT DRAWING

SHEET TITLE:

DRAWN BY: TRM
FIELDBOOK: CLB#16, PG 39
PM REVIEW: BEM
QA/QC REVIEW: CLB
DATE: 7/7/2025
SEAL:



SIGNATURE:
DATE:
SCALE: 1" = 40'
ACT JOB #: 25-0789
SHEET NO.

BROOKVIEW FARMS-PHASE ONE DPUD B-3 AMENDMENT

LOT 1 OF BROOKVIEW FARMS - PHASE ONE A DPUD B-3 (PLAT BOOK 30, PAGE 54) AND A
PART OF THE FRACTIONAL NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 35 NORTH,
RANGE 6 EAST, JACKSON TOWNSHIP, ELKHART COUNTY, INDIANA

PREPARED FOR:

ELKHART COUNTY PLANNING DEPARTMENT
4230 ELKHART ROAD
GOSHEN, IN 46526

PREPARED BY:

ABONMARCHE CONSULTANTS, INC.
303 RIVER RACE DRIVE
Goshen, IN 46526
(574) 533-9913

JULY 7, 2025
REVISED JULY 22, 2025

1) LEGAL DESCRIPTION:

13659 CO RD 20, MIDDLEBURY, IN 46540 –
LOT 1 OF LOT 1 OF BROOKVIEW FARMS - PHASE ONE A DPUD B-3

THE PROJECT SITE IS COMPRISED OF THE FOLLOWING PARCELS TOTALING ABOUT 2.2 ACRES.

- PARCEL 20-15-04-200-008.000-018 (1.5± ACRES) ZONED "DPUD B-3" DETAILED PLANNED UNIT DEVELOPMENT AND KNOWN AS "LOT 1 OF BROOKVIEW FARMS PHASE ONE".
- PARCEL 20-15-04-200-014.000-018 (0.7± ACRES) ZONED "GPUD B-3" GENERAL PLANNED UNIT DEVELOPMENT.

2) INTENTION FOR OWNERSHIP:

THE PROPOSED PROJECT INCLUDES

- UPDATE SITE PLAN TO ADD A 3,021 SQ. FT. ADDITION TO THE PATTERSON FAMILY DENTISTRY
- INTERIOR RENOVATION
- A NEW WATER WELL.
- EXPAND LOT 1 OF BROOKVIEW FARMS PHASE ONE DPUD B-3 TO ADD THE EMPTY LOT TO THE NORTH OF THE CURRENT DPUD BOUNDARY INTO THE DPUD.
- UPDATE THE SITE PLAN TO ADD ADDITIONAL PARKING FOR CUSTOMERS AND BUGGY PARKING
- UPDATE AND ADD STORMWATER RETENTION AREAS

3) ZONING & PROPOSED LAND USE:

ZONING FOR THIS PROPERTY IS DPUD DPUD B-3 AND GPUD B-3. PROPOSED ZONING WOULD BE DPUD DPUD B-3 FOR THE ENTIRE PROJECT.

SETBACKS - "B-3" ZONE ELKHART COUNTY

FRONT YARD = 55 FEET FROM CENTERLINE OF C.R. #142
120 FEET FROM CENTERLINE OF STATE ROAD 15
SIDE YARD = 10 FEET
REAR YARD = 1 5 FEET
PARKING SETBACK= 10 FEET FROM RIGHT OF WAY LINE OR 55 FEET FROM CENTERLINE
OF RIGHT OF WAY WHICHEVER IS GREATER.

4) COMPATIBILITY:

THE PROPERTY IS AN EXISTING DENTIST OFFICE AND THE PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE ZONING AND USE OF THE SITE AND SURROUND AREA.

5) REQUESTED DEVIATIONS:

NONE ANTICIPATED AT THIS TIME

6) DENSITY:

EXISTING BUILDING	2,583 SF	0.059 ACRES	2.67%
PROPOSED BUILDING	3,083 SF	0.071 ACRES	3.21%
EXISTING CONCRETE/ASPH	18,103 SF	0.416 ACRES	18.82%
PROPOSED CONCRETE/ASPH	4,204 SF	0.096 ACRES	4.34%
EXISTING GRAVEL	1,025 SF	0.024 ACRES	1.09%
PROPOSED GRAVEL	880 SF	0.020 ACRES	0.90%
LAWN AND PASTURE	66,375 SF	1.524 ACRES	68.97%
<hr/>			
TOTAL	96,253 SF	2.210 ACRES	100.0%

7) SOILS REPORT:

THE ENTIRE SITE IS COMPOSED OF BTXA (BRISTOL LOAMY SAND, 0 TO 2 PERCENT SLOPES) AND A DEPTH TO SEASONAL HIGH WATER OF GREATER THAN 80 INCHES. SOIL INFORMATION WAS OBTAINED FROM THE "SOIL SURVEY OF ELKHART COUNTY, INDIANA". THE SURVEY WAS PUBLISHED BY THE USDA AND NRCS IN COOPERATION WITH PURDUE UNIVERSITY AND THE STATE SOIL CONSERVATION BOARD.

8) WATER AND SEWAGE DISPOSAL:

THIS PROJECT IS CONNECTED TO THE NEW PARIS CONSERVANCY DISTRICT SANITARY SEWER SYSTEM. THIS PROJECT HAS A PRIVATE WELL THAT IS ANTICIPATED TO BE REPLACED WITH A NEW WELL. NO MUNICIPAL WATER IS NEAR THE SITE.

9) STORM WATER DRAINAGE REPORT:

THE STORMWATER DRAINAGE PLAN WAS INCLUDED ON THE DPUD SITE PLAN AND WILL BE MANAGED ON-SITE

10) TRAFFIC REPORT:

THE SECTION OF C.R. 142 SERVICING THE PROPOSED SITE IS NEITHER CONSIDERED A PRIMARY OR A SECONDARY ROAD. THE SITE HAS ONE EXISTING DRIVE ON CR 142.

THE TIVE IS ATTACHED FOR REVIEW BY ELKHART COUNTY HIGHWAY DEPARTMENT

- EMPLOYEES=12 MAXIMUM
- PATIENT= 60 PER DAY MAXIMUM
- REGULAR DELIVERIES SUCH AS OFFICE AND MEDICIAL SUPPLIES 1/DAY ESTIMATED)

11) PUBLIC IMPROVEMENT REPORT:

NONE ANTICIPATED

12) SITE IMPROVEMENT REPORT

PARKING

AN EXPANDED PARKING LOT IS DESIGNED TO SERVE CUSTOMERS. PARKING FOR MEDICAL/DENTAL CLINIC OR LABORATORY IS 1 SPACE PER 250 SF NET FLOOR AREA PLUS 1 SPACE PER EMPLOYEE.

2,086 SF OFFICE / 250 SF =	9 SPACES REQUIRED (EXISTING BUILDING)
2,464 SF OFFICE / 250 SF =	10 SPACE REQUIRED (PROPOSED BUILDING)
12 EMPLOYEES=	12 SPACES REQUIRED
TOTAL REQUIRED =	31 SPACES

PARKING PROVIDED =	43 SPACES (9' BY 20')
	2 ADA SPACES (EXISTING)

LANDSCAPING

THE PROJECT IS SUBJECT TO ELKHART COUNTY STANDARDS FOR BOUNDARY BUFFER LANDSCAPING ADJACENT TO RESIDENTIAL USES WHERE APPLICABLE. THERE IS CURRENTLY BUSINESS ZONING USES ADJACENT TO THE NORTH AND WEST PROPERTY LINES; THEREFORE, NO BUFFER LANDSCAPING IS REQUIRED. PROPOSED LOT 1A WILL RETAIN ALL EXISTING LANDSCAPING POSSIBLE THAT IS NOT AFFECTED BY THE PROPOSED BUILDING & PARKING AREA.

SIGNAGE

- THE EXISTING SIGN ON SR 15 WILL REMAIN UNCHANGED
- THE EXISTING SIGN ON CR 142 WILL BE UPDATED TO BE ILLUMINATED AND UP TO 32 S.F. AND 8' HIGH
- POTENTIAL WALL MOUNTED SIGN THAT WILL MEET B-3 REQUIREMENTS

LIGHTING

SITE LIGHTING WILL CONFORM TO ELKHART COUNTY REQUIREMENTS.

- EXISTING AND PROPOSED WALL MOUNTED LIGHTING ON BUILDINGS.
- PARKING LOT LIGHTING INCLUDES EXISTING LIGHT POSTS IN EACH PARKING LOT ISLAND INLCUDING ANY NEW LIGHTS FOR PARKING EXPANSION.

FENCING - NO ADDITIONAL FENCING IS PROPOSED AT THIS TIME

12) EMPLOYMENT

12 EMPLOYEES MAXIMUM
60 PATIENTS MAXIMUM

13) HOURS OF OPERATION

- EVERY OTHER TUESDAY 8-4
- EVERY WEDNESDAY 8-4
- ONE THURSDAY PER MONTH 8-4
- EVERY FRIDAY 8-1

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: August 14, 2025

Transaction Number: DPUD-0441-2025.

Parcel Number(s): 20-06-24-326-009.000-009.

Existing Zoning: A-1.

Petition: For a zone map change from A-1 to DPUD A-1 and for primary approval of an 8-lot major subdivision to be known as DOROSHENKO A-1 DPUD.

Petitioner: Igor Doroshenko & Nina Mamalat Doroshenko, Husband & Wife, & Andriy Doroshenko & Katya Doroshenko, Husband & Wife, represented by B. Doriot & Associates, Inc.

Location: South side of CR 118, 1,700 ft. west of Old CR 17, in Concord Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	A-1	Agricultural
North	A-1	Residential
South	A-1	Agricultural
East	A-1	Residential
West	A-1	Residential

Site Description: The subject property consists of one parcel totaling 7.829 acres and is currently vacant, used for agricultural production.

History and General Notes:

- The subject property and the surrounding area are under the original 1959 County Zoning.

Zoning District Purpose Statements: The purpose of the DPUD, Detailed Planned Unit Development, Overlay zoning district, is to allow an applicant the benefit of flexibility in development in exchange for increased public or private amenities that go beyond the requirements of the Development Ordinance. The purpose of the A-1, Agricultural, zoning district is to accommodate family farms, modestly scaled agricultural operations, agri-businesses, large lot single-family detached dwellings not associated with an agricultural use, residential subdivisions, and other compatible and supporting uses.

Staff Analysis: The purpose of this rezoning petition is to develop an eight-lot major residential subdivision with six duplex lots and two single-family residential lots.

Plan Commission Staff Report (Continued)

Hearing Date: August 14, 2025

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. Residential development is a desirable feature of a well-planned, economically diverse, and livable community.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. The property will be developed with a mixture of single-family and two-family residential lots.
3. The most desirable use of the subject property is residential, agricultural, or other compatible and supporting uses.
4. The request conserves property values by maintaining and developing residential use in an existing residential area.
5. The proposed rezoning promotes responsible growth and development. The DPUD limits the use and details contained in the petition, site plan/support drawing, and PUD ordinance.

Staff Analysis Continued: The staff, after reviewing this petition with the assistance of the Elkhart County Technical Committee, recommends **APPROVAL** of this DPUD and primary plat as the development meets all pertinent standards.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Detailed PUD - Rezoning, Plat & Site Plan

Elkhart County Planning & Development Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

DPUD-0441-2025

Date: 07/07/2025 Meeting Date: August 14, 2025
Plan Commission Hearing (PUD) Transaction #: DPUD-0441-2025

Description: for a zone map change from A-1 to DPUD A-1 and for primary approval of an 8-lot major subdivision to be known as DOROSHENKO A-1 DPUD

Contacts: <u>Applicant</u>	<u>Land Owner</u>	<u>Land Owner</u>	<u>Private Surveyor</u>
B. Doriot & Associates, Inc. P.O. Box 465 New Paris, IN 46553	Igor Doroshenko & Nina Mamalat Doroshenko, Husband & Wife 58143 Hooley Dr Goshen, IN 46528	Andriy & Katya Doroshenko 58143 Hooley Dr Goshen, IN 46528	B. Doriot & Associates, Inc. P.O. Box 465 New Paris, IN 46553

Site Address: 00000 Cr 118
GOSHEN, IN 46528

Parcel Number: 20-06-24-326-009.000-009

Township: Concord
Location: SOUTH SIDE OF CR 118, 1,700 FT. WEST OF OLD CR 17

Subdivision: Lot #

Lot Area: 4.62 Frontage: 129.79 Depth: 1,152.78

Zoning: A-1, A-1 NPO List:

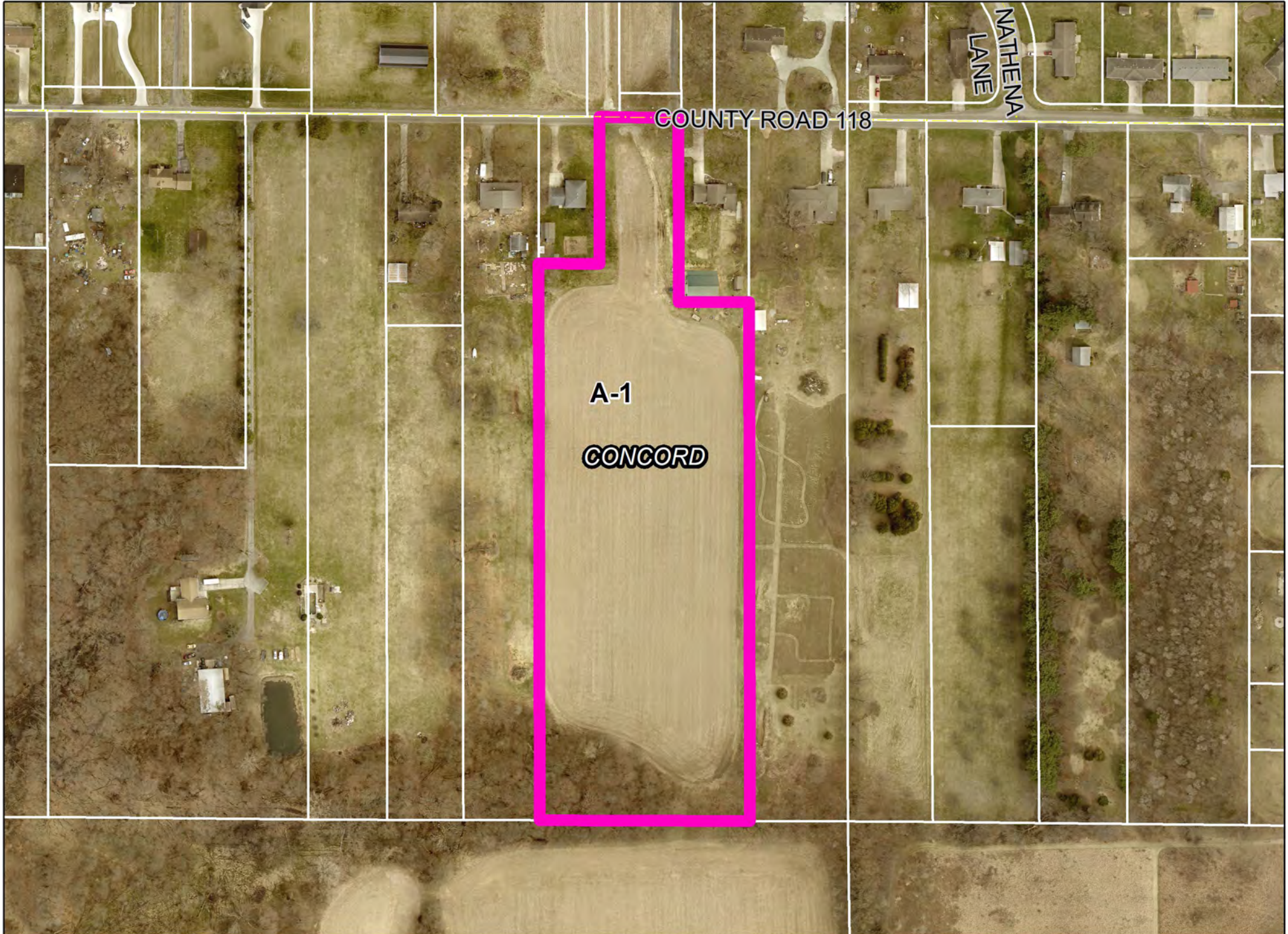
Present Use of Property: VACANT LAND

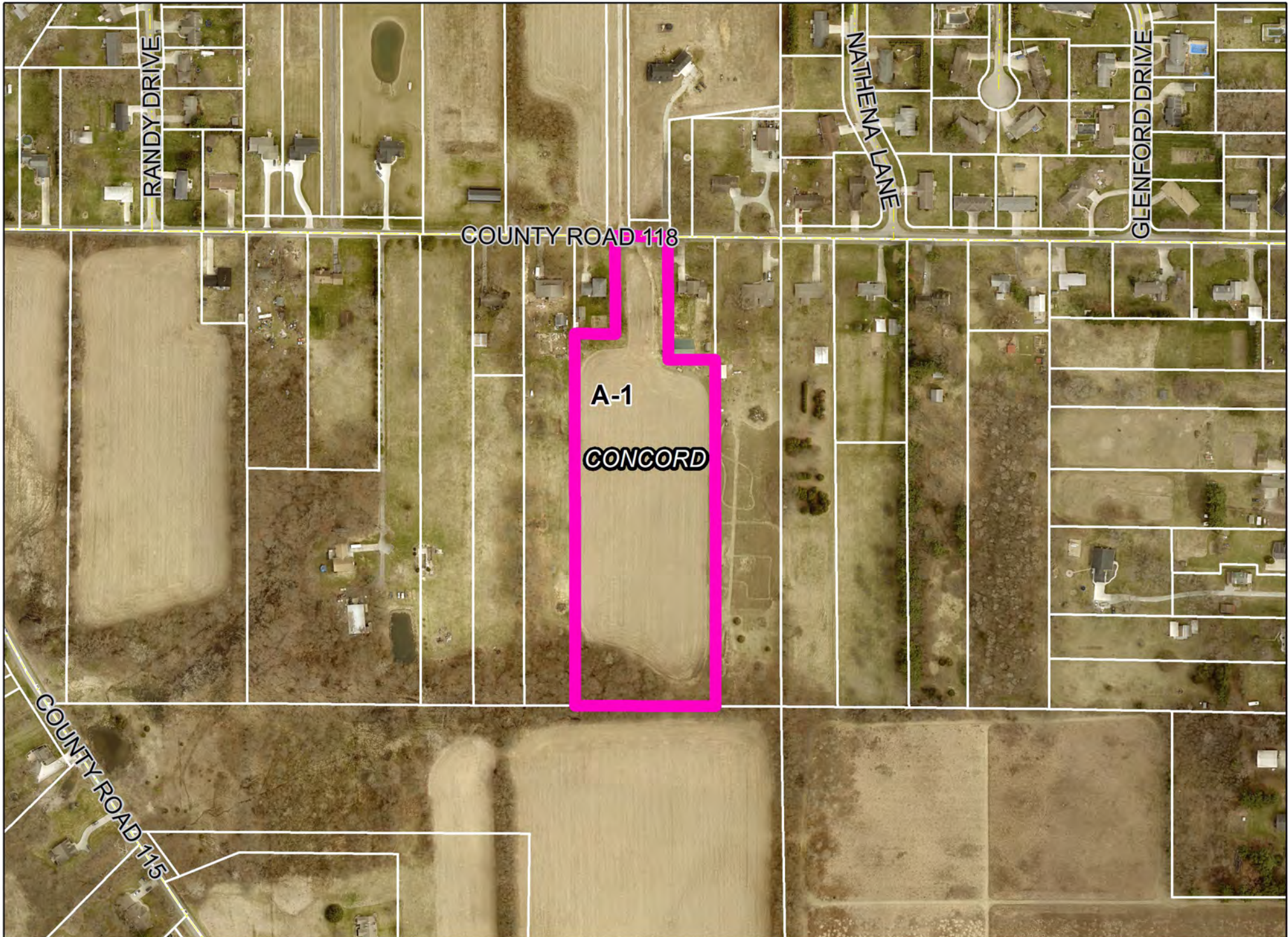
Legal Description:

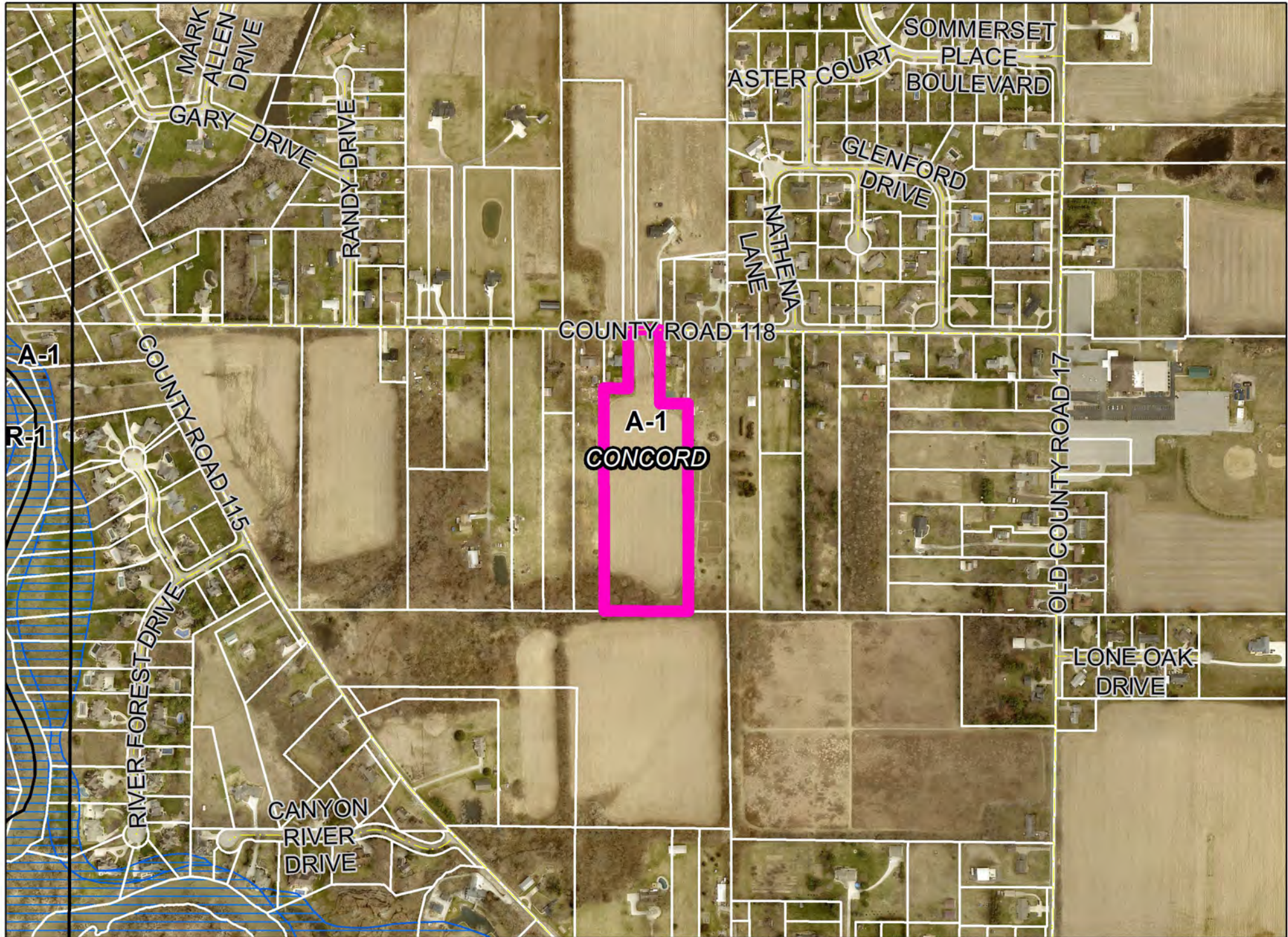
Comments:

Applicant Signature:

Department Signature:







DOROSHENKO A-1 DPUD SDS

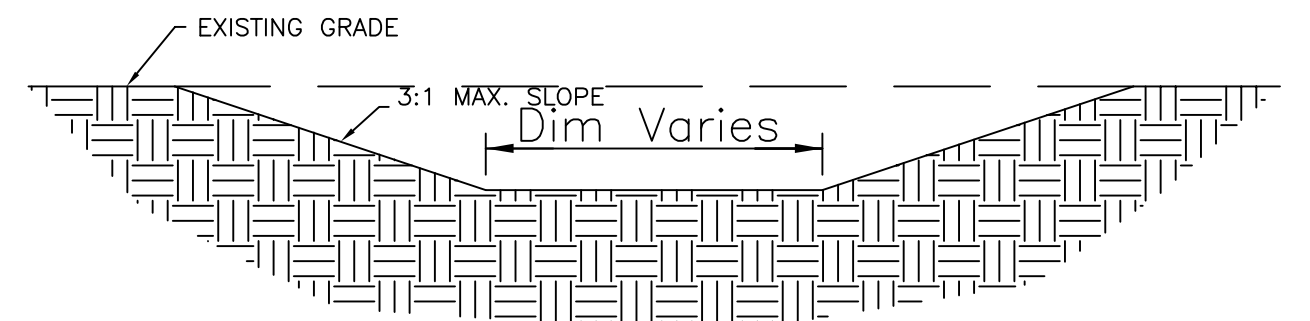
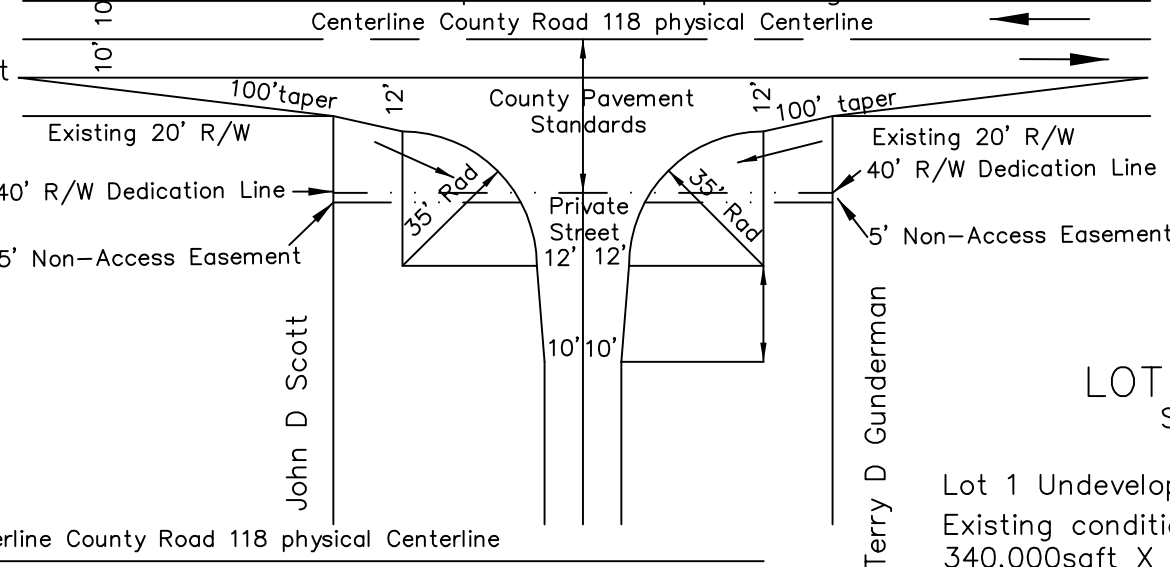
An A-1 DPUD in the Southwest Quarter of Section 24,
Township 37 North, Range 5 East, 2nd Principal Meridian,
Concord Township, Elkhart County, Indiana.

Lots 1to 6 are Duplex. Lots 7&8 are Single Family

Sight Distance over 800' East and West

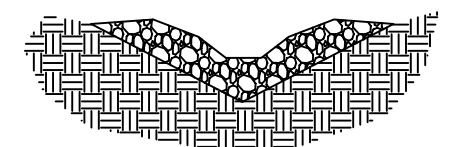
Entrance as directed by County Engineer TYPE 6

Entrance will require Road Impact Agreement



TYPICAL SWALE DETAIL

NO SCALE



ROCK DAM SECTION

NO SCALE

LOT DRAINAGE CALCULATIONS

Storm event 25yr 24 hour 4.59"

Lot 1 Undeveloped 7.8A / 340,000 Sqft

Existing conditions 100% row crop. Runoff Cof 0.30

340,000sqft X .30 X 0.38' = 38,760 cft/day

Proposed development conditions.

51,000sqft Pavment & Building Runoff Cof 0.95

51,000sqft X 0.95 X 0.38' = 18411cft/day

289,000Sqft Lawn/Sod Cof 0.10

289,000Sft X .10 X 0.38' = 10,100cft/day

Additional Runoff (18411+10100)-38,760=-10,419cft

Developed will reduce Runoff by 10,419cft Without Retention.

Retention

Rear and Side detention swales

2730 lft x 4.5sqft end area =12280 cft capacity

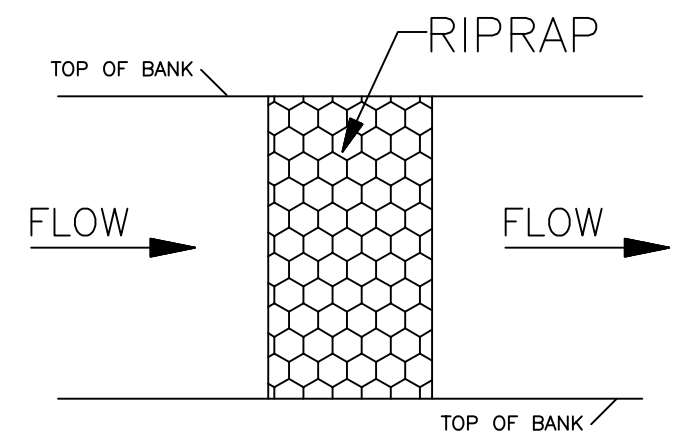
South retention swale

350 lft x 30sqft end area =10500 cft capacity

Total Reduction in runoff 32,000cft +-

Runoff Coeficents from Elkhart County 2024 Street
Standards Table IV-I

BtxA soils have a K saturation of 15" per hour only
in cases of frost shold any runoff leave the site



ROCK DAM DETAIL

NO SCALE

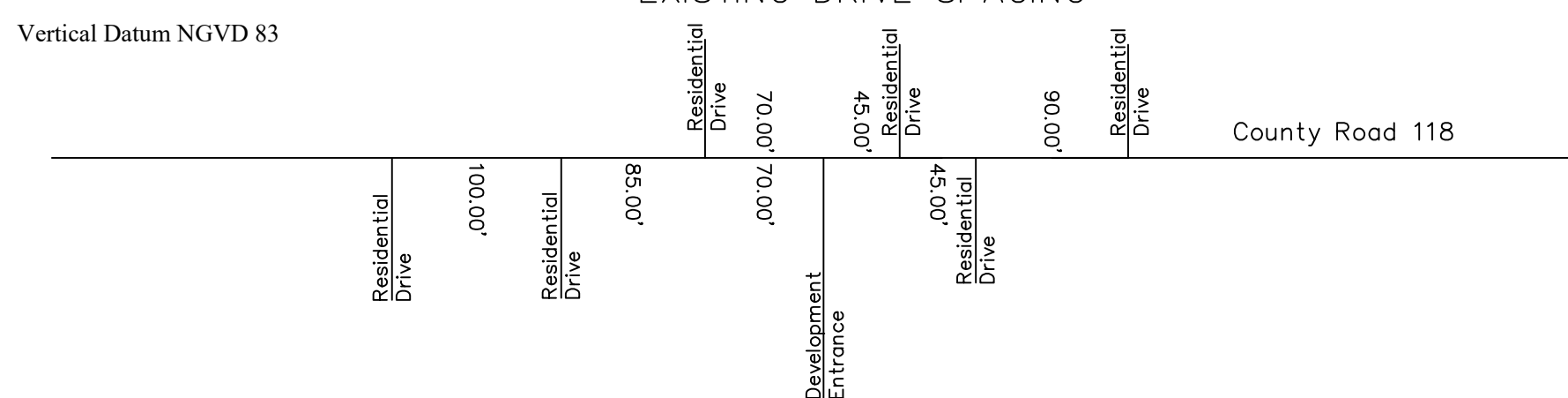
NOTE: ROCK DAM SHALL BE NO LESS THAN 1 FOOT
TALL AT THE INVERT OF THE SWALE AND SHALL BE
DREDGED AS NECESSARY.

PAVEMENT TYPE

All paving in 40 Dedicated R/W shall be built to County
Standards and hard surfaced.

The interior pavement shall be Asphalt or Concrete
thickness as recommended by a Civil Engineer.

EXISTING DRIVE SPACING



LINE	BEARING	DISTANCE
L1	S 89°18'24" E	45.85'
L2	S 89°18'24" E	40.03'
L3	S 89°18'24" E	43.68'
L4	S 00°22'35" W	40.00'
L5	S 89°18'23" E	337.18'
L6	N 89°18'23" W	115.00'
L7	N 00°02'10" E	240.00'

PLAT NOTES

-All irons set were #5 rebar capped (DORIOT 890028)
and set flush unless noted.

-Mag nails with aluminum washer (DORIOT 890028)
set flush unless noted.

-All corners and monuments that were found are flush
and in good condition unless noted.

-No information is intentionally left out unless noted.

-All bearing bases are assumed unless noted.

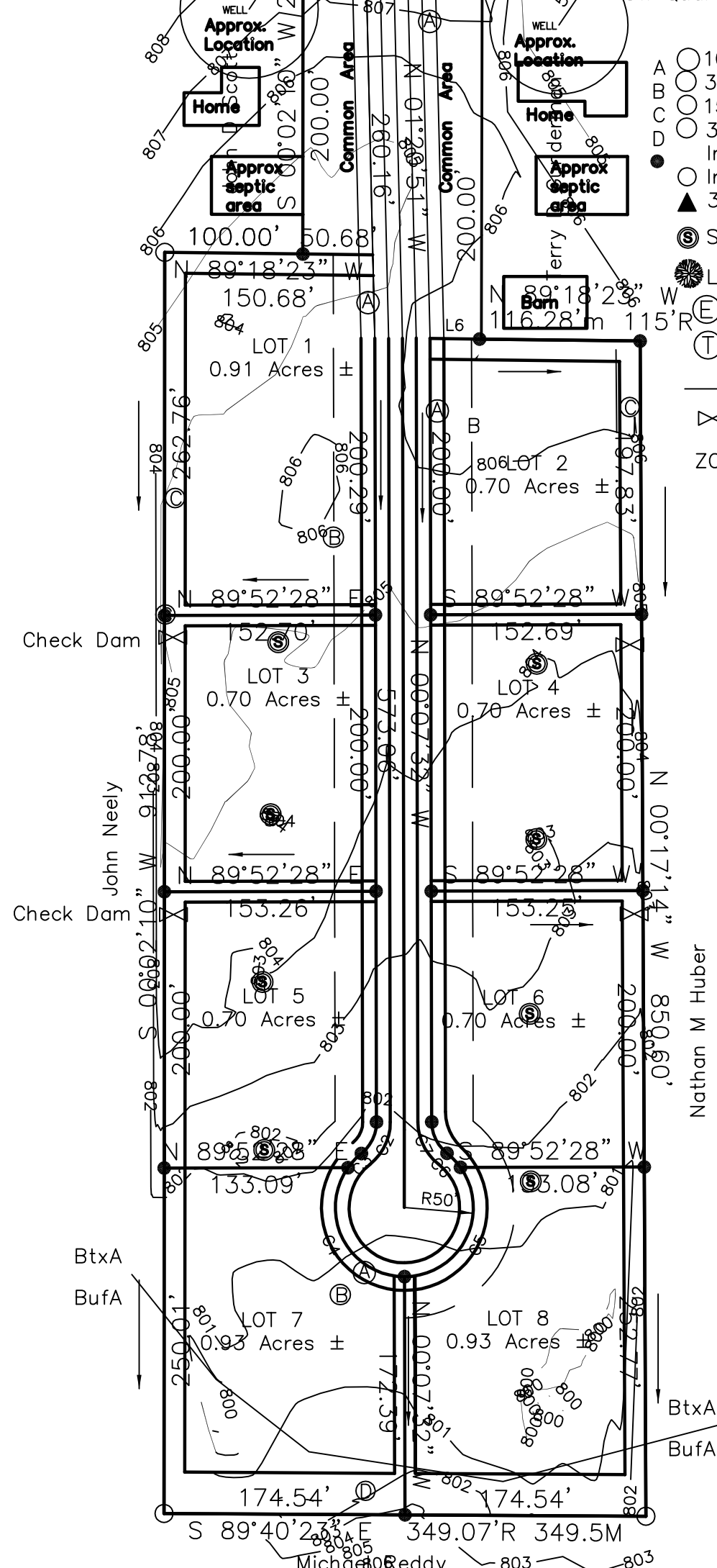
-All distances and bearings on this plat are measured
unless noted as follows: M=Measured, R=Recorded
and C=Calculated.

-All section corner information is per the Elkhart
County Surveyor's office.

Precipitation amounts from
National Oceanic & Atmospheric Adim.
Point precipitation frequency Estimates
Calculations per Purdue Storm Water
Manual 2008

N 89°18'23" W
E North line SW 1/4 Sec 24 Apx CL CR 118 2' to 3' North
Spike NW Cor NE Quarter
SW Quarter Sec 24-37-5
290.00'
Harrison Mon. NE corner
SW Quarter Sec 24-37-5

- 10' Utility Easement
- 30' Setback Line
- 15' Drainage Retention swale
- 30' Drainage Retention swale
- Iron Rebar w/ Cap(890028)
- Iron Pipe fd as Noted
- 3/4" Iron Rebar -0.4' in CR118 pvm
- Soil Boring
- Large tree
- Power Pole
- Utility Pedestal
- Swale Flow
- Check Dam
- ZONING site & all adjoiners A-1



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	26.15'	29.00'	51°39'55"	S 25°42'26" W	25.27'
C3	14.15'	50.00'	16°12'53"	S 43°25'57" W	14.10'
C4	109.48'	50.00'	125°27'02"	S 27°24'01" E	88.88'
C5	109.48'	50.00'	125°27'02"	N 27°08'57" E	88.88'
C6	14.15'	50.00'	16°12'53"	N 43°41'00" W	14.10'
C7	26.15'	29.00'	51°39'55"	N 25°57'29" W	25.27'

B. DORIOT & ASSOCIATES INC.
P.O. Box 465 New Paris, IN 46553
574-536-3031 doriotsurvey@gmail.com

PAGE 1 OF 2	DRAWN BY: CBD FIELD CREW: CBD, RAM, CB DATE: 2/28/2025 Owner: DOROSHENKO ANDRIY & KATYA DOROSHENKO H&W & IGOR & NINA MAMALAT H&W JT W/ROS	APPROVED BY: CBD PROJ. NO. 2024-062. DWG. 2024-062 Plat. DOROSHENKO A-1 DPUD SDS
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DOROSHENKO A-1 DPUD
AN 8 LOT RESIDENTIAL SUBDIVISION
Located in the Southwest Quarter of Section 24,
Concord Township, Elkhart County, Indiana

C. Blake Doriot, Professional Land Surveyor IN #LS80890028
B. Doriot & Associates Inc.
PO Box 465
New Paris, IN 46528
574-536-3031, doriotsurvey@gmail.com,

Owner Operators
Andriy & Katya Doroshenko
Igor & Nina Mamalat.
58143 Hooley Dr
Goshen, IN 46528

A-1 DPUD NARRATIVE
In SW1/4 Section24 T37N T5E

This is an eight (8) lot Residential development. It will consist of two (2) Single Family Lots and six (6) Duplex Lots. The Single Family lots to initially be occupied by the Doroshenkos and Mamalat families (owners). The 6 duplex lot are to be constructed as directed by the Doroshenkos and the Mamalats owners of the property. It is anticipated the units will initially be owned and operated by the owners. But in the future they could be transferred in one block or as individual Lots.

Reason for location the owners live in the area with friends close. The rear of the property seems ideal for locating their personal homes and raising their children

PROPERTY DESCRIPTION

A part of the Northeast Quarter of the Southwest Quarter of Section 24, Township 37 North, Range 5 East, Second Principal Meridian, Concord Township, Elkhart County, Indiana, containing 7.80 acres, more or less, being the Land described in Document #2023-09782, and based on an Original Survey, by B. Doriot & Associates Land Surveying (C. Blake Doriot P.S. 890028), Job #2024-063, all bearings based on Indiana State Planes East, completed on January 10, 2025, more particularly described as follows:

Commencing at a Harrison Monument marking the Northeast Corner of said Southwest Quarter; thence North 89 degrees 18 minutes 23 seconds West, along the North Line of said Northeast Quarter of the Southwest Quarter, to a 3/4" Iron Rebar in the Pavement of County Road 118, a distance of 290.00 feet, being the POINT OF BEGINNING of this description; thence continuing along the last called line and bearing, to a 3/4" Iron Rebar in the Pavement of County Road 118 , a distance of 129.97 feet; thence South 00 degrees 02 minutes 10 seconds West, to an Iron Rebar with cap (DORIOT 890028), a distance of 240.00 feet; thence North 89 degrees 18 minutes 23 seconds West, to an Iron Pipe, a distance of 100.00 feet; thence South 00 degrees 02 minutes 10 seconds West, to an Iron Pipe, a distance of 912.78 feet; thence South 89 degrees 40 minutes 23 seconds East, to an Iron Pinch Pipe, a distance of 349.07 feet; thence North 00 degrees 17 minutes 14 seconds West, to an Iron Rebar with cap (DORIOT 890028), a distance of 850.60 feet; thence North 89 degrees 18 minutes 23 seconds East, to an Iron Rebar with cap (DORIOT 890028), a distance of 115.00 feet; thence North 00 degrees 07 minutes 57 seconds East, a distance of 300.00 feet, to the POINT OF BEGINNING; subject to all easements, restrictions, drain tiles, public highways, and right-of-ways of record.

ZONING Site A-1 Adjoiners all A-1

Lots and Structures

Duplex lots are all over 30,000 Square Feet. These have room for 2 septic systems per living unit with 50' of separation from the wells.

Types of access to the duplexes are shown on the SDS (Sight Detail Sheet).

Examples of the anticipated types of homes for the Duplex Lots are included with the filing.

They will be 2 story with separate entrances. Models will have a single car garage or a street side parking area with side walk entrance.

Single Family lots are just under 1 acre and meet County Lot Standards

Set Backs and Easements are as shown on the Plat and SDS.

Soils are Bronson BufA and Bristol BtxA both Sandy loam.

Septic systems will be all located in the Bristol soils . They will be in ground trench systems with area enough for 2 systems for each 3 bedroom living unit. Each living unit will be served by its own well that will be separated from all septic systems by a minimum of 50 feet as required by the health department.

Access will be provided in the common area to be 40 feet wide with 20 feet wide hard surface asphalt or concrete pavement. All pavement in the County Right of Way shall meet the Elkhart Highway standards. Entrance shall conform to Detail 6 in Elkhart County Highway Standards. Drainage will be provided by roadside swales that will flow into lot line detention swales. The soils are mostly Bristol sand with a K saturation rate of approximately 15. With the change from cultivated field to sod reducing most of the site to a 0.10 run off coefficient. It is highly unlikely any water generated on this site will leave the site. Final entrance, drive and drainage plans will be submitted to the county after the approval of the PUD.

Common areas and the drive shall be maintained by the Doroshenkos and Mamalat families (owners). If any lot is sold by the Doroshenkos and Mamalat families (owners) Restrictive Covenants along with Drainage and Roadway Maintenance Agreements for the development will be recorded and cross referenced to the Plat and PUD ordinance.

Landscaping and buffering shall meet County Planning requirements.

Deviations

Lots to be accessed on a common plat entrance with no frontage on a Public Right of Way.

Outside Lighting

Each property shall have a front yard lamp. Rear yard lighting shall be downward shining and focused on their lot.

Vertical Datum NGVD 83

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: August 14, 2025

Transaction Number: DPUD-0352-2025.

Parcel Number(s): 20-15-04-200-009.000-018.

Existing Zoning: GPUD B-3.

Petition: For a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as NIPSCO NEW PARIS LOCAL OPERATIONS CENTER.

Petitioner: Fernbrook LLC, represented by DVG Team, Inc.

Location: Northwest corner of Fernbrook Rd. & CR 142, west of SR 15, in Jackson Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	GPUD B-3	Agricultural
North	PUD A-1 & B-2	Vacant & Residential
South	R-1	Residential
East	B-2 & R-1	Commercial, Church, SR 15
West	R-1	Agricultural

Site Description: The subject property comprises one parcel totaling 50.89 acres and is currently vacant, used for agricultural production.

History and General Notes:

- **April 5, 2004** – The Board of County Commissioners approved a zone map change from R-1 to GPUD B-3 (PC 2004-13).

Zoning District Purpose Statements: The purpose of the DPUD, Detailed Planned Unit Development, Overlay zoning district is to allow an applicant the benefit of flexibility in development in exchange for increased public or private amenities that go beyond the requirements of the Development Ordinance. The purpose of the B-3, Heavy Business, zoning district is to accommodate higher-impact community and regional developments. The district also accommodates uses related to vehicular travel, interstate commerce, heavy equipment, trucking, and outdoor storage. The zoning district is appropriately applied adjacent to interstates and major state or county highways.

Staff Analysis: The purpose of this rezoning petition is to develop a regional service center for NIPSCO, which provides gas and electric utility services to the surrounding communities.

Plan Commission Staff Report (Continued)

Hearing Date: August 14, 2025

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. Commercial development in the county should be directed to Urban Growth Areas and in designated transportation corridors, to take advantage of their proximity to municipal infrastructure. The property is in the New Paris area and located along SR 15.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. The subject property is in a mixed-use area consisting of commercial, residential, and agricultural uses.
3. The most desirable use of the subject property is commercial and/or other compatible and supporting uses. The subject property was identified for future commercial use in 2005 and is adjacent to existing commercial use.
4. The request conserves property values by allowing a proposed commercial property to develop under the appropriate zoning district, which will meet and or exceed development standards such as buffering and screening.
5. The proposed rezoning promotes responsible growth and development. The DPUD limits the use and details contained in the petition, site plan/support drawing, and PUD ordinance. The property will be served by public sewer from the New Paris Conservancy District.

Staff Analysis Continued: The staff, after reviewing this petition with the assistance of the Elkhart County Technical Committee, recommends **APPROVAL** of this DPUD and primary plat as the development meets all pertinent standards.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Detailed PUD - Rezoning, Plat & Site Plan

Elkhart County Planning & Development Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

DPUD-0352-2025

Date: 05/30/2025 Meeting Date: August 14, 2025
Plan Commission Hearing (PUD) Transaction #: DPUD-0352-2025

Description: for a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as NIPSCO NEW PARIS LOCAL OPERATIONS CENTER

Contacts: <u>Applicant</u>	<u>Applicant</u>	<u>Land Owner</u>	<u>Private Surveyor</u>
Nipsco	Dvg Team, Inc	Fernbrook Llc	Dvg Team, Inc
801 E 86Th Ave	1155 Troutwine Rd	67742 County Road 19	1155 Troutwine Rd
Merrillville, IN 46410	Crown Point, IN 46307	Goshen, IN 46526	Crown Point, IN 46307

Site Address: 00000 Fernbrook Rd NEW PARIS, IN 46553	Parcel Number: 20-15-04-200-009.000-018
---	---

Township: Jackson
Location: NORTHEAST CORNER OF FERNBROOK RD AND CR 142, WEST OF SR 15

Subdivision:	Lot #
--------------	-------

Lot Area:	Frontage:	Depth:
-----------	-----------	--------

Zoning: A-1, B-3	NPO List:
------------------	-----------

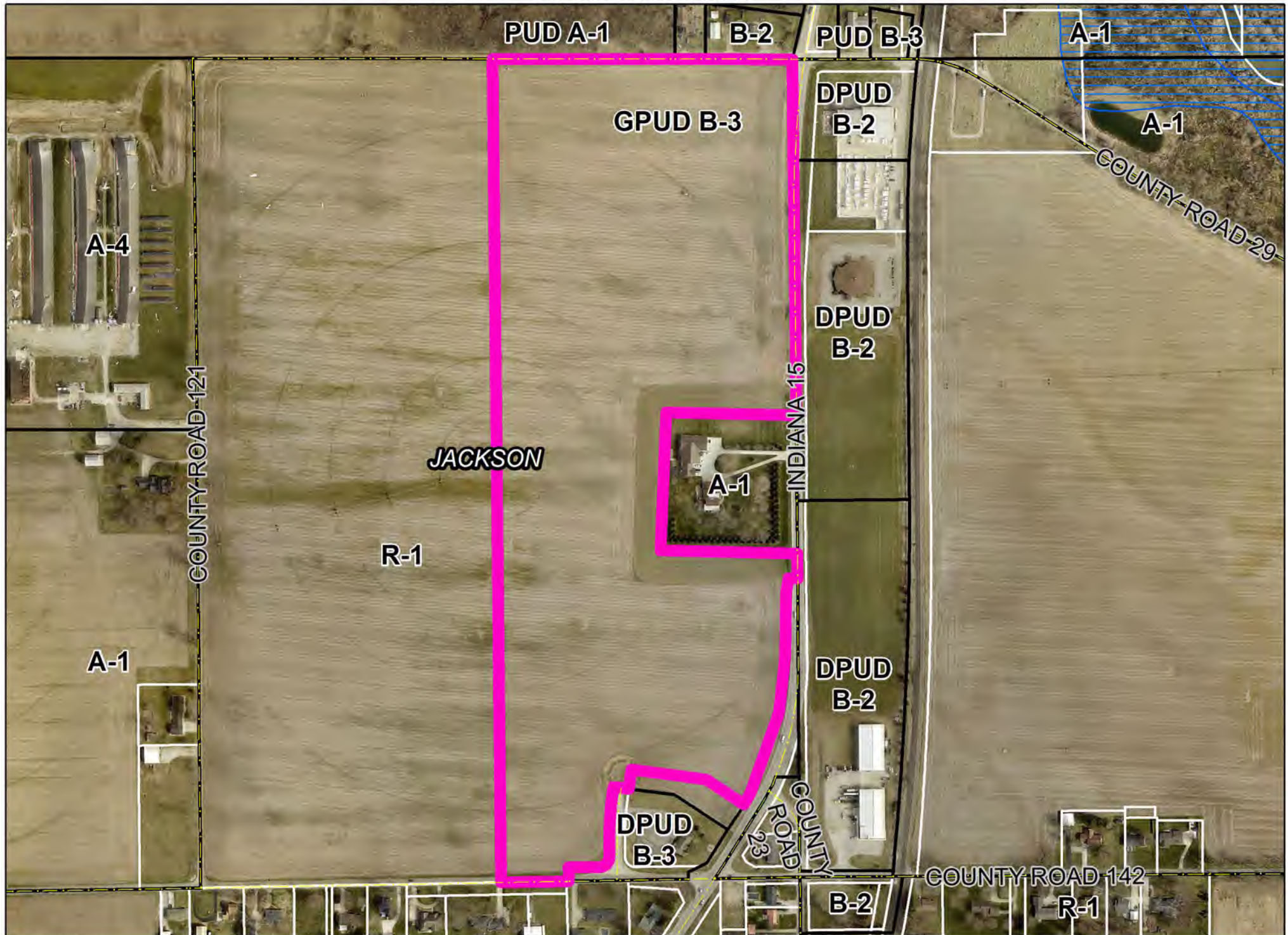
Present Use of Property:

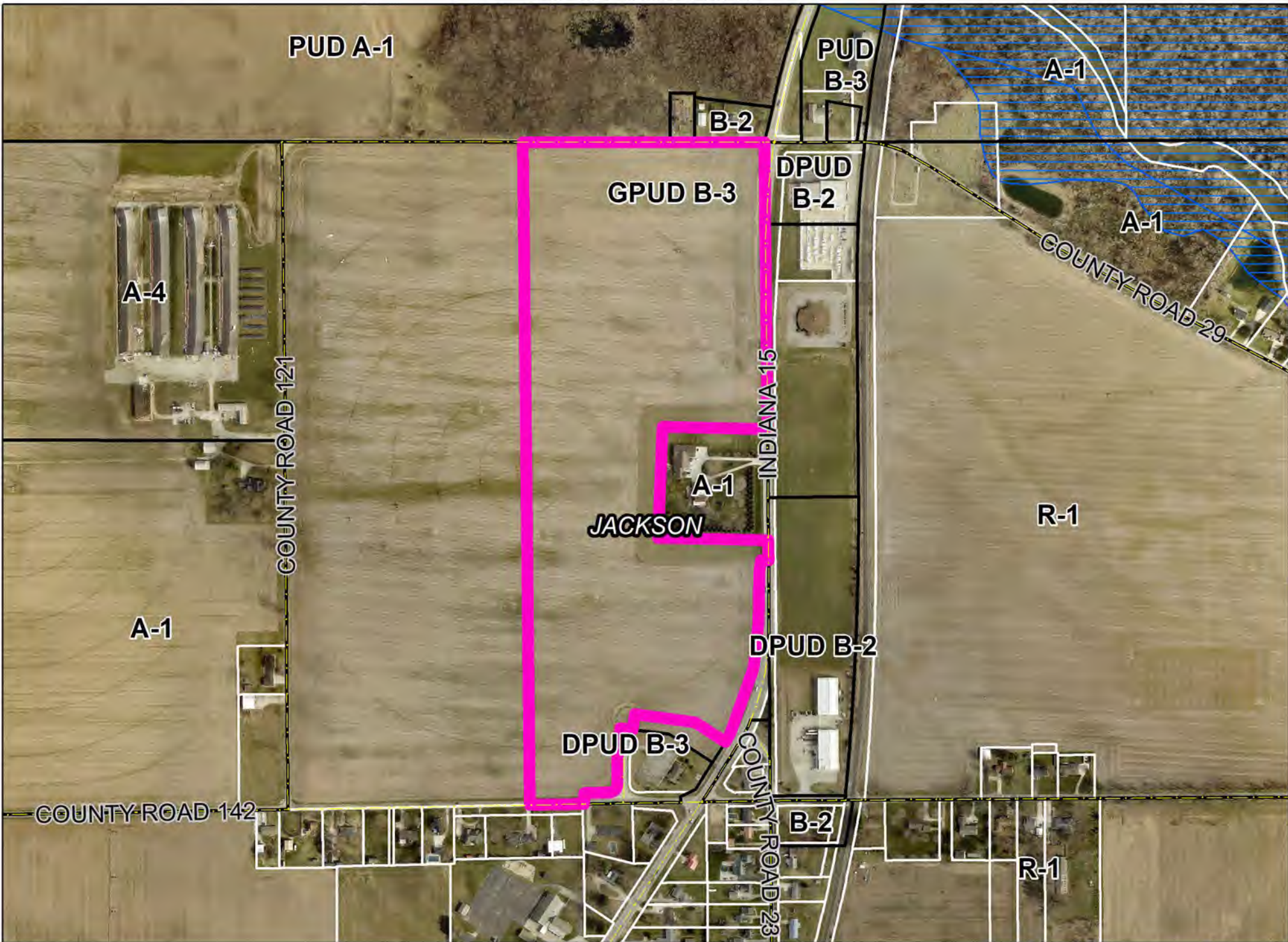
Legal Description:

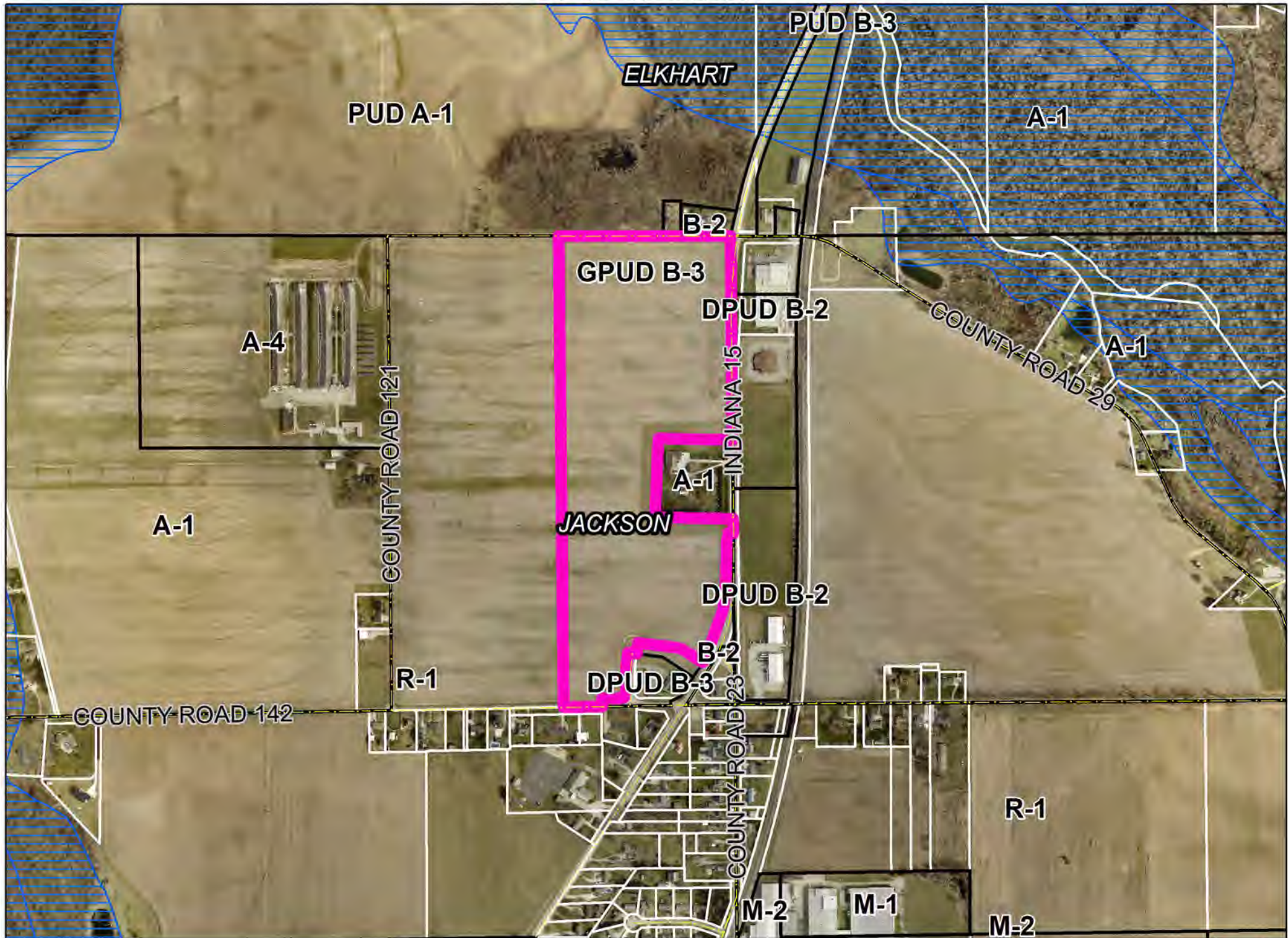
Comments: SEE PREVIOUS RZ-0307-2019 (RE-ZONING FROM GPUD B-3 and R-1 to A-1 APPROVED ON 6/13/2019 (PARCEL HAS SINCE BEEN SPLIT) AND SUP#0280-2019 FOR HOME WORKSHOP BUSINESS, APPROVED 5/16/2019

Applicant Signature:

Department Signature:

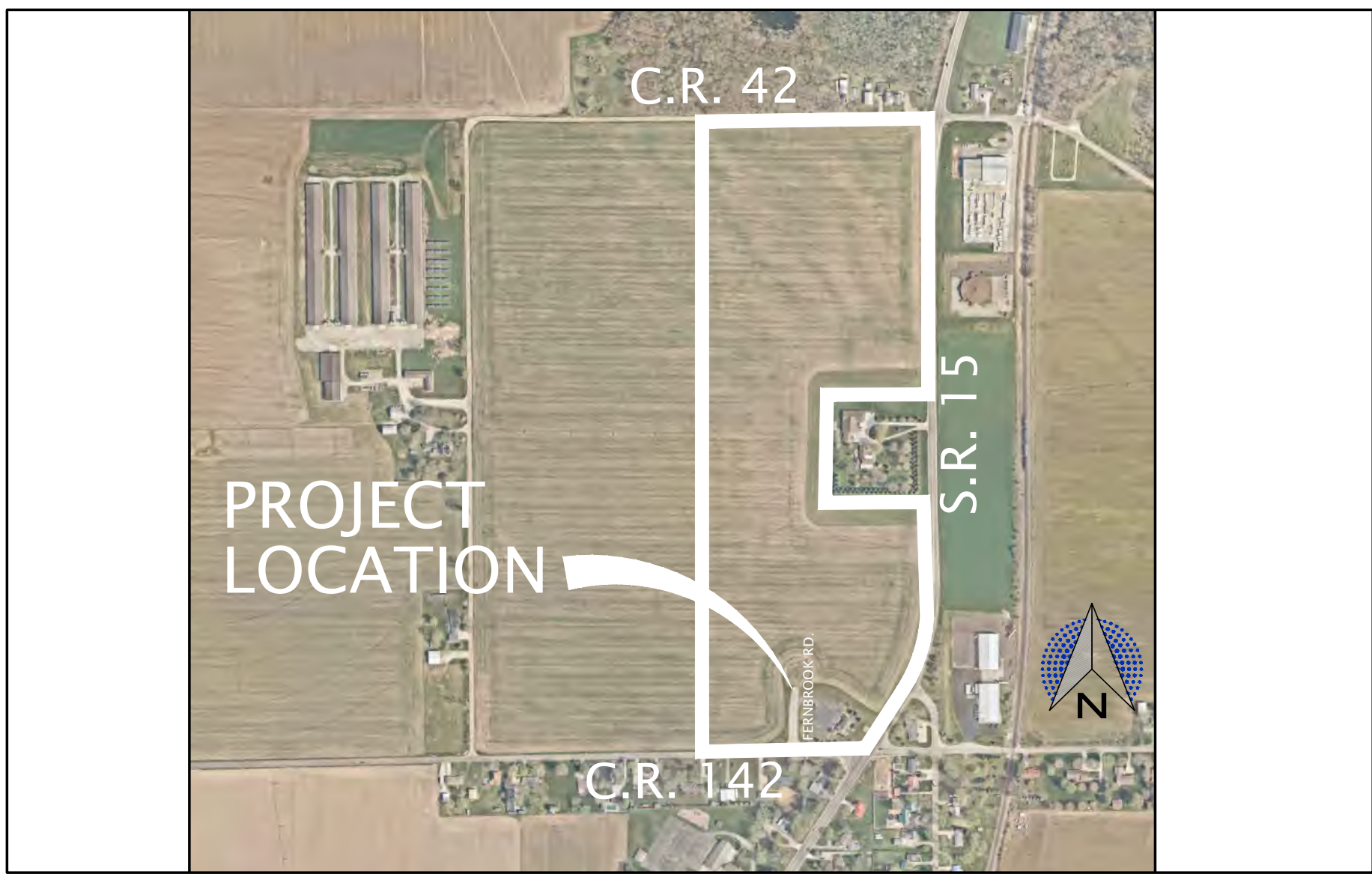






NIPSCO
New Paris Local Operations Center
New Paris, IN

ISSUED FOR DPUD RESUBMITTAL- 06/27/25



Location Map
(No Scale)

BENCHMARK

CUT "X" ON TOP OF CURB LOCATED AT NORTH END OF FERNBROOK ROAD
ELEVATION = 812.38 (NAVD88)



Know what's below. Call before you dig.

To Submit a Locate Request
24 Hours a Day, Seven Days a Week:
Call 811 or 800-382-5544
www.Indiana811.org

INDEX OF SHEETS

C001	Cover Sheet
C101	Existing Conditions
C102	Demolition Plan
C103	Overall Site Plan
C103A-B	Site Plan
C104A-B	Grading Plan
C105A-B	Utility Plan
C106	Stormwater Pollution Prevention Plan (SWPPP)
C107	Site Lighting Plan
C108	Landscape Plan
C109	C.R.142 & Fernbrook Road Improvements
C201-C208	Construction Details
C301-C304	SWPPP Details

LEGEND

	EXISTING DRAINAGE STRUCTURE		EXISTING CONTOURS
	EXISTING END SECTION		PROPOSED CONTOURS
	EXISTING SANITARY STRUCTURE		BOUNDARY LINES
	EXISTING FIRE HYDRANT		RIGHT-OF-WAY LINES
	EXISTING VALVE & BOX		PROPOSED LOT LINES
	EXISTING STREET LIGHT		UNDERLYING LOT LINE
	POWER POLE		EASEMENT LINES
	SBC PEDESTAL		BUILDING LINES
	MAIL BOX		CHAINLINK FENCE
	PROPOSED DRAINAGE STRUCTURE		ORNAMENTAL FENCE
	PROPOSED END SECTION		OVERHEAD POWER LINES
	PROPOSED SANITARY STRUCTURE		TELEPHONE ROUTE
	PROPOSED FIRE HYDRANT		ELECTRIC ROUTE
	PROPOSED VALVE & VAULT		GAS ROUTE
	PROPOSED B-BOX		EXISTING WATER
	PROPOSED STREET LIGHT		EXISTING STORM
	DIRECTION OF FLOW		EXISTING SANITARY
	OVERLAND FLOOD ROUTE		PROPOSED STORM
	PROPOSED TOP RETAINING WALL ELEVATION		PROPOSED SANITARY
	PROPOSED FINISHED GROUND GRADE AT BOTTOM OF RETAINING ELEVATION		
	PROPOSED TOP OF CURB ELEVATION		
	PROPOSED CUTTER FLOWLINE ELEVATION		
	PROPOSED SURFACE ELEVATION		
	STORM SEWER		PROPOSED STORM SEWER
	SANITARY SEWER		PROPOSED SANITARY SEWER
	WATER		PROPOSED WATER

PROJECT CONTACTS

SCHOOL DISTRICT
Fairfield Community Schools
67240 County Road 31
Coshen, IN 46528
info@fairfield.k12.in.us
(574) 831-2188

WATER UTILITY
WELL

ELECTRIC & GAS UTILITY
NIPSCO
801 E 86th Ave
Merrillville, IN 46410
1-800-464-7726

DEVELOPER/OWNER
NIPSCO
801 E 86th Ave
Merrillville, IN 46410
1-800-464-7726

SANITARY SEWER UTILITY
New Paris Conservancy District
18121 County Road 29
New Paris, IN 46553
npcdsmith6100@yahoo.com
(574) 831-6100

CABLE UTILITY
Quality Cablevision
19066 E Market Street
New Paris, IN 46553
(574) 831-2225

TELECOM UTILITY
NPTEL
19066 E Market Street
New Paris, IN 46553
info@nptel.com
(574) 831-2176

ENGINEERING PLAN SET

REVIEW AGENCY:	ELKHART COUNTY, IN
SUBMITTAL TYPE:	DPUD ZONING SUBMITTAL
SUBMITTAL DATE:	TBD
MEETING DATE:	TBD
APPROVAL DATE:	TBD

PRELIMINARY
- NOT FOR
CONSTRUCTION

DWG.	---
DRAWN BY	---
APPROVED BY	---
ISSUED FOR	DPUD
ISSUE DATE	06/27/2025
PROJECT NUMBER	2172203022
FIELD BOOK	---

COVER SHEET

C001

NISOURCE - NEW OPERATIONS CENTER -
NEW PARIS, IN

NISOURCE
PROJECT NUMBER: 2172203022
NEW PARIS, INDIANA

SHIVEHATTERY
ARCHITECTURE-ENGINEERING
SEAL

NIPSCO®
A NISource Company

219.476.1400

1

2

3

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6

A

B

C

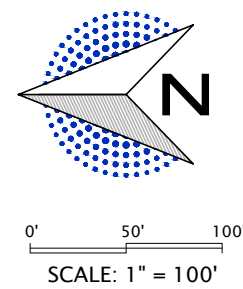
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E

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EXISTING
CONDITIONS

C101

PRELIMINARY
- NOT FOR
CONSTRUCTION

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NEW PARIS, IN

NISOURCE
CROWN POINT, INDIANA
PROJECT NUMBER: 2172203022



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3

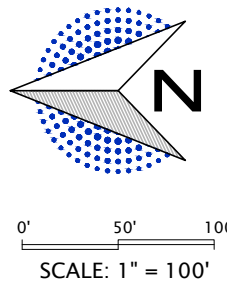
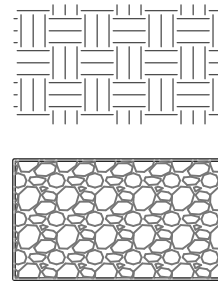
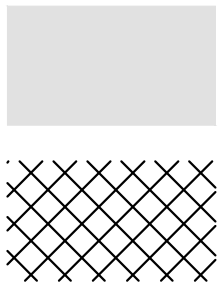
4

5

6

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A B C D E F G H



SCALE: 1" = 100'



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C102

DEMOLITION
PLAN

PRELIMINARY
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NISOURCE - NEW OPERATIONS CENTER -
NEW PARIS, IN

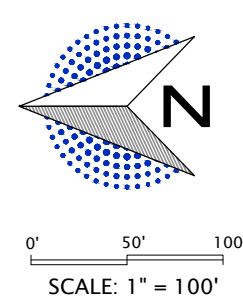
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NISOURCE
CROWN POINT, INDIANA
PROJECT NUMBER: 2172203022







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SEAL



1. DIMENSIONING SHALL BE TO FACE OF CURB; RADII SHALL BE BACK OF CURB UNLESS OTHERWISE NOTED

- **ZONING:** DPUD - ELKHART COUNTY
- **BUILDING AREA:** 51,000 SQ. FT. - Main Office/Warehouse Building
56,000 SQ. FT. - Garages
42,000 SQ. FT. - Fleet/Substation
- **PARKING REQUIRED:** 150 SPACES (1 SPACE PER EMPLOYEE)
- **PARKING PROVIDED:** 172 SPACES (INCLUDES 9 ADA SPACES
163 at Main Building
9 at the Fleet Building

	CONCRETE SIDEWALK		ASPHALT PAVEMENT		STRIPING (PAINT, 4" WIDE) 6-FOOT HIGH CHAIN LINK FENCE
	CONCRETE PAD		4" (MINI) TOPSOIL & SEEDING/LANDSCAPING (SEE LANDSCAPE PLAN)		
			AGGREGATE		

A

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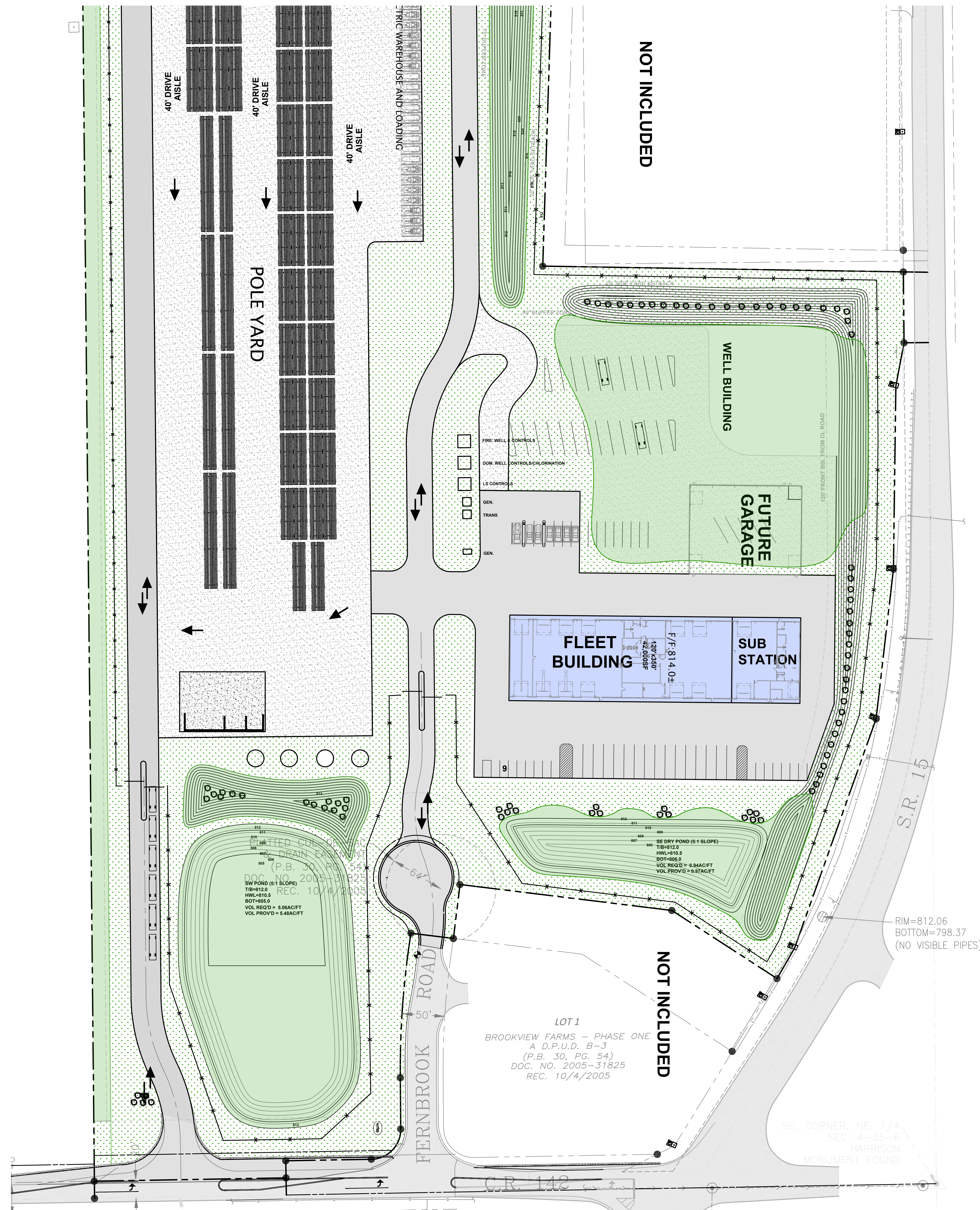
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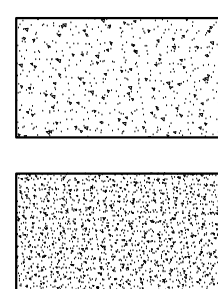
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6



LEGEND



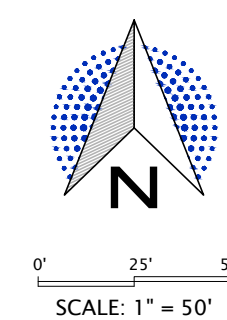
CONCRETE SIDEWALK

CONCRETE PAD

ASPHALT PAVEMENT

4\"/>

STRIPING (PAINT, 4\"/>



SCALE: 1\"/>



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SITE PLAN
SOUTH

C103B

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CONSTRUCTION

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NISOURCE
CROWN POINT, INDIANA
PROJECT NUMBER: 2172203022

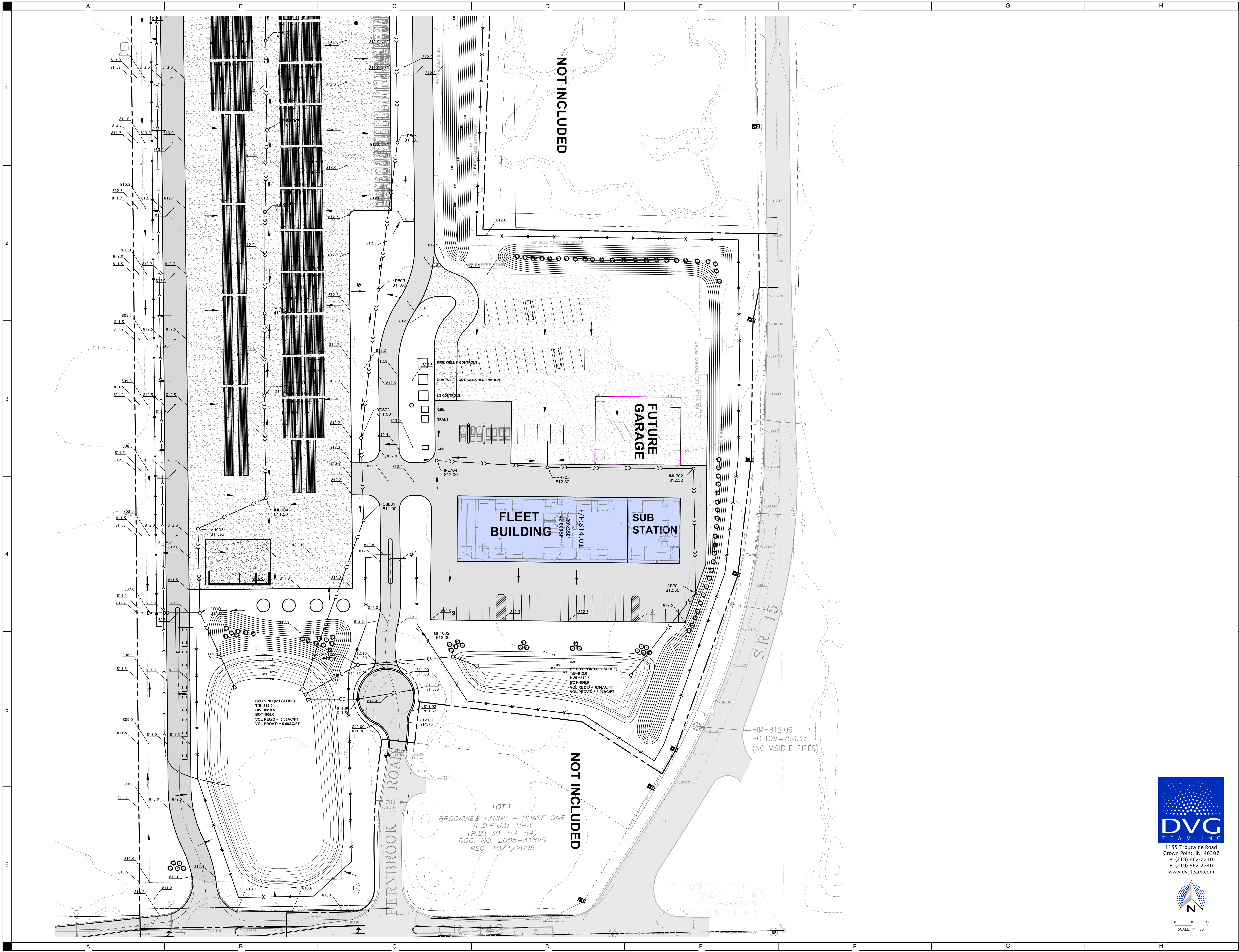
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NEW PARIS, IN



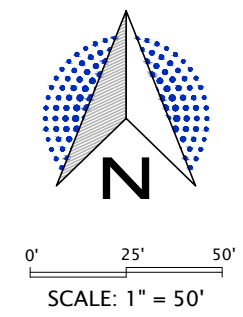
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Revision: 17/03/2022 A-Civil_3D.dwg
2172203022



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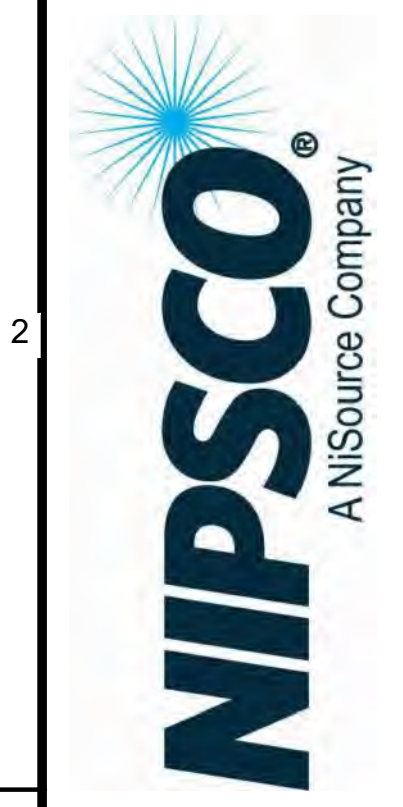


GRADING PLAN
NORTH

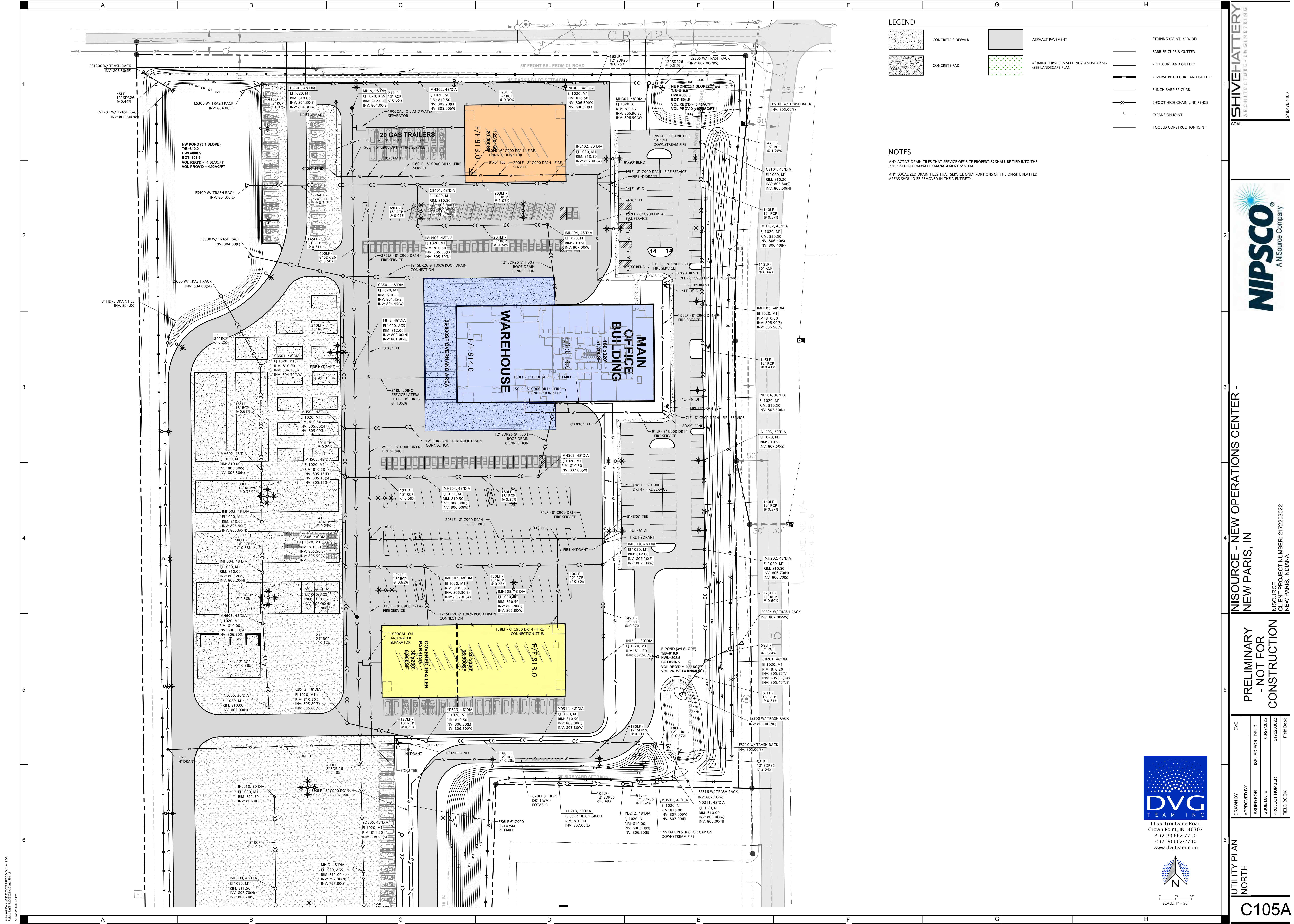
C104B

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CONSTRUCTION

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NISOURCE
PROJECT NUMBER: 2172203022
NEW PARIS, INDIANA



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LEGEND

- CONCRETE SIDEWALK
- CONCRETE PAD
- ASPHALT PAVEMENT
- 4" (MIN) TOPSOIL & SEEDING/LANDSCAPING (SEE LANDSCAPE PLAN)
- STRIPING (PAINT, 4" WIDE)
- BARRIER CURB & GUTTER
- ROLL CURB AND GUTTER
- REVERSE PITCH CURB AND GUTTER
- 6-INCH BARRIER CURB
- 6-FOOT HIGH CHAIN LINK FENCE
- EXPANSION JOINT
- TOOLED CONSTRUCTION JOINT

NOTES

ANY ACTIVE DRAIN TILES THAT SERVICE OFF-SITE PROPERTIES SHALL BE TIED INTO THE PROPOSED STORM WATER MANAGEMENT SYSTEM.
ANY LOCALIZED DRAIN TILES THAT SERVICE ONLY PORTIONS OF THE ON-SITE PLATTED AREAS SHOULD BE REMOVED IN THEIR ENTIRETY.

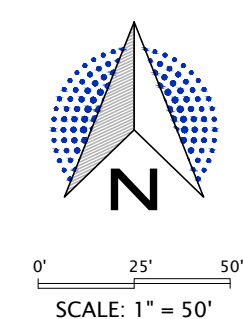
NIPSCO
A NipSCO Company

PRELIMINARY
- NOT FOR
CONSTRUCTION

DWG	2172000022
DRAWN BY	CEW
APPROVED BY	
ISSUED FOR	DFUD
ISSUE DATE	08/27/2025
PROJECT NUMBER	2172000022
FIELD BOOK	F-001 Book



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UTILITY PLAN
NORTH

C105A

TOTAL DISTURBANCE
AREA = 51.0ac

LEGEND

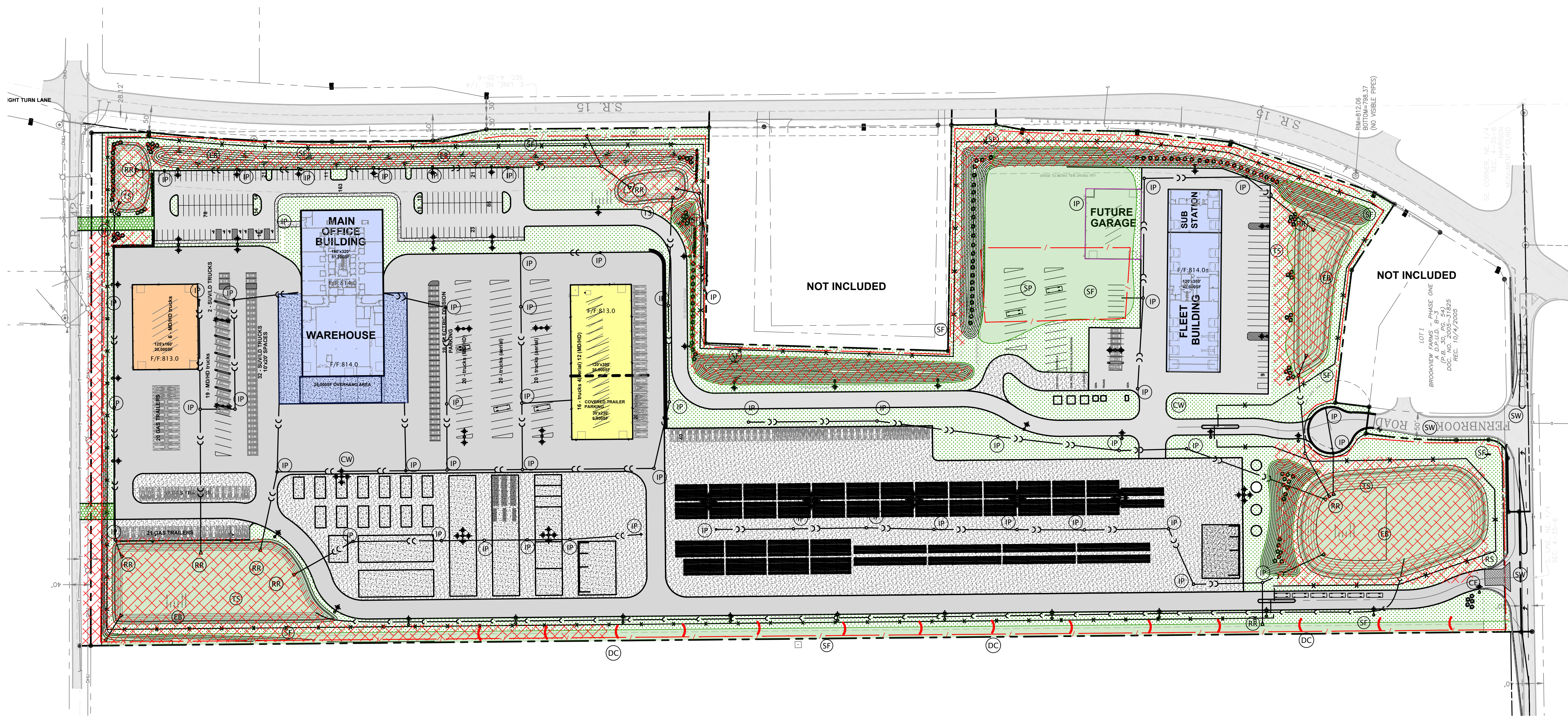
- (CE) TEMPORARY CONSTRUCTION ENTRANCE
(IP) INLET BARRIER PROTECTION
(TS) TEMPORARY/PERMANENT SEEDING
(SF) (FR) SILT FENCE/FIBER ROLLS (MAY BE USED INTERCHANGEABLY WHERE REQUIRED)
(EB) EROSION CONTROL BLANKET
(RR) RIP RAP PIPE OUTFALL ARMORMENT - SEE SHEET C302 FOR DETAIL OF RIPRAP AT PIPE END SECTION
(SW) STREET SWEEPING
(CW) CONCRETE WASHOUT
(RS) BUILDING & STORMWATER PERMITS
(SP) STOCKPILE
(DC) SILT WORM DITCH CHECK, 9" DIA. (SEE SHEET C302)

CONCRETE
WASHOUT
ONLY

CONCRETE WASHOUT SIGNAGE

NOTES

1. THE SITE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. MEASURES MUST BE IMPLEMENTED PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND/OR CLEANING TO THE STRUCTURE OR FEATURE. CORRECTIVE WORK INCURRED BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
3. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE S.W.P.P.P. ANY FINES OR PUNITIVE MEASURES INCURRED BY THE PROJECT DUE TO FAILURE TO COMPLY WITH THE S.W.P.P.P. ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE COSTS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND SHALL NOT BE CONSIDERED AN EXTRA.
4. DURING THE COURSE OF CONSTRUCTION, THE LOCAL ENFORCEMENT OF THE S.W.P.P.P. MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES TO BE INSTALLED TO ADDRESS SITE-SPECIFIC ITEMS NOT ANTICIPATED BY THIS PLAN. THESE ITEMS ARE CONSIDERED AN EXTRA TO THE CONTRACT, BUT ONLY TO THE EXTENT OF INITIAL INSTALLATION. CORRECTIVE WORK AND MAINTENANCE SHALL BE CONSIDERED INCIDENTAL AND SHALL NOT BE CONSIDERED AN EXTRA.
5. THE SITE CONTRACTOR SHALL INSTALL THE CONSTRUCTION ENTRANCE AND PLACE PERIMETER SILT FENCING/FIBER ROLLS PRIOR TO COMMENCING ANY SOIL DISTURBANCE. SEE SITE PLAN FOR LOCATIONS. THE CONSTRUCTION ENTRANCE SHALL SERVE AS SITE ACCESS FOR ALL CONSTRUCTION TRAFFIC INGRESS AND EGRESS TO THE PROJECT SITE.
6. THE SOIL STOCKPILE SHALL BE PROTECTED BY SILT FENCE/FIBER ROLLS SURROUNDING THE PILE AND THE PILE SHALL BE TEMPORARILY SEEDDED IF THE STOCKPILE REMAINS DORMANT FOR GREATER THAN 7 DAYS. THE PILE SHALL BE STABILIZED WITHIN 14 DAYS.
7. DURING SOIL-DISTURBING ACTIVITIES, THE CONTRACTOR SHALL CREATE DIVERSION SWALES AND INSTALL DITCH CHECKS SO THAT ALL SITE RUNOFF PASSES THROUGH AN EROSION CONTROL MEASURE PRIOR TO BEING DISCHARGED OFF-SITE.
8. UPON COMPLETION OF THE ROUGH GRADING, ALL AREAS AFFECTED BY CONSTRUCTION SHALL BE TEMPORARILY SEEDDED IF THEY WILL REMAIN DORMANT FOR GREATER THAN 7 DAYS. THESE AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF REMAINING DORMANT AND EROSION CONTROL BLANKETS SHALL BE INSTALLED ON SIDE SLOPES AS SHOWN ON THE PLANS.
9. CONTRACTOR SHALL PERFORM STREET SWEEPING WHENEVER TRACKING OF MUD, DIRT, AND CONSTRUCTION DEBRIS OCCURS ON THE PUBLIC ROAD.



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NEW PARIS, IN

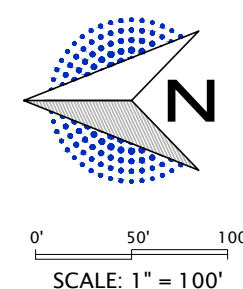
NISOURCE
PROJECT NUMBER: 2172203022
NEW PARIS, INDIANA

PRELIMINARY
- NOT FOR
CONSTRUCTION

DWG.	2172203022
DRAWN BY	DPUD
APPROVED BY	08/27/2025
ISSUED FOR	2172203022
ISSUE DATE	08/27/2025
PROJECT NUMBER	2172203022
FIELD BOOK	F-001 Book



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Crown Point, IN 46307
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F: (219) 662-2740
www.dvgteam.com



S.W.P.P.P.

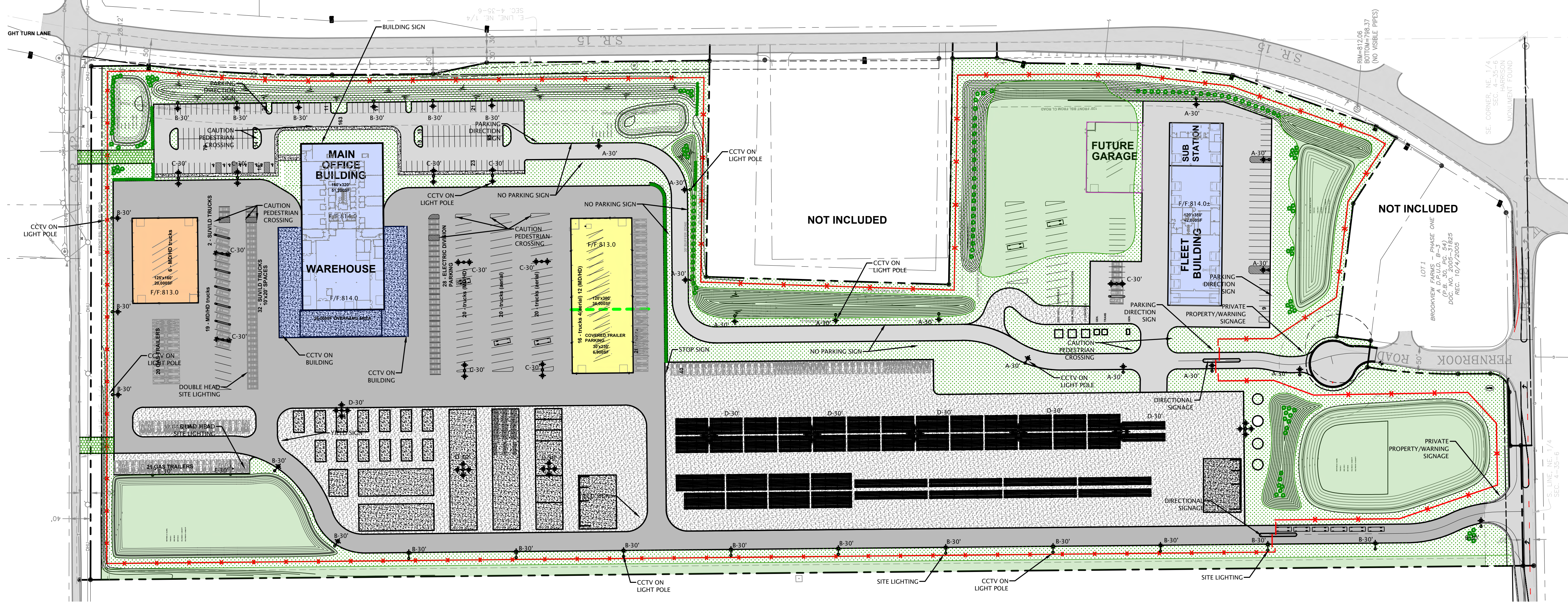
C106



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Revision: 1712202022 A-Civil.dwg
17122022 3:54:41 PM
Autodesk Revit 2023

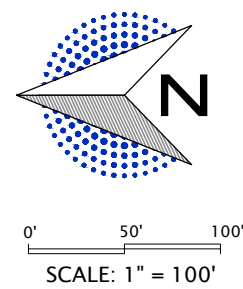
SITE LIGHTING LABEL	MANUFACTURER	CATALOG	DESCRIPTION
A	LITHONIA	DSK2 LED P2 30K 70CRI BLC3	D-SERIES SIZE 2 AREA LUMINAIRE P3 PERFORMANCE PACKAGE 3000K CCT 70 CRI TYPE 3 EXTREME BACKLIGHT CONTROL
B	LITHONIA	DSK2 LED P3 30K 70CRI BLC3	D-SERIES SIZE 2 AREA LUMINAIRE P3 PERFORMANCE PACKAGE 3000K CCT 70 CRI TYPE 3 EXTREME BACKLIGHT CONTROL
C	LITHONIA	DSK2 LED P2 30K 70CRI TFTM	D-SERIES SIZE 2 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW
D	LITHONIA	DSK2 LED P7 30K 70CRI TFTM	D-SERIES SIZE 2 AREA LUMINAIRE P7 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW
E	LITHONIA	DSK2 LED P3 30K 70CRI TFTM	D-SERIES SIZE 2 AREA LUMINAIRE P3 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW



PARKING DIRECTION SIGN
SHALL READ
"ALL VEHICLES MUST BACK
INTO OR PULL THROUGH
PARKING SPACES"



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SITE LIGHTING
PLAN

PRELIMINARY
- NOT FOR
CONSTRUCTION

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NEW PARIS, IN

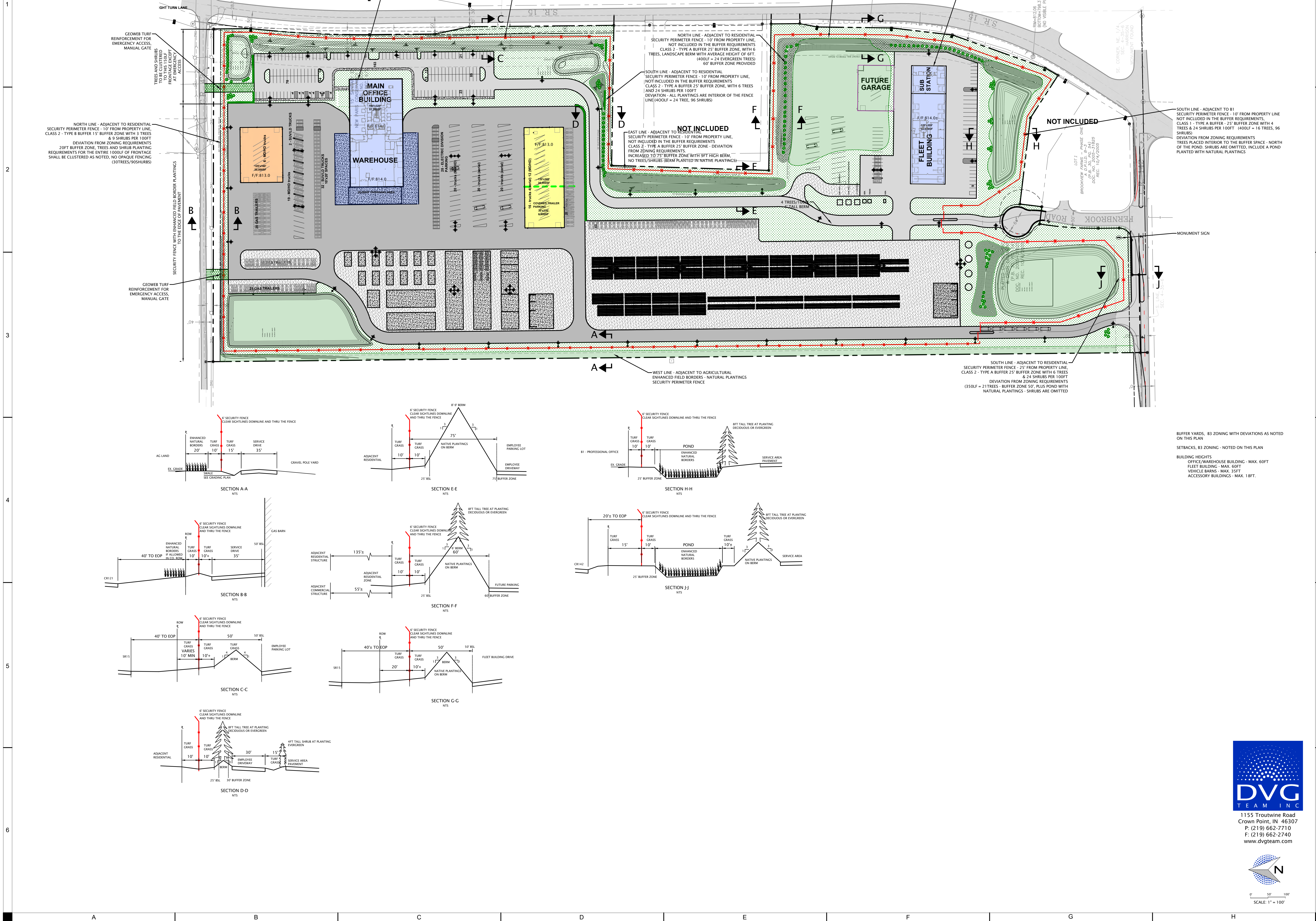
NISOURCE
CLIENT PROJECT NUMBER: 2172203022
NEW PARIS, INDIANA



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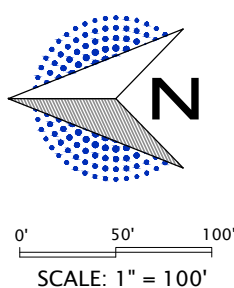
C107



BUFFER YARDS, B3 ZONING WITH DEVIATIONS AS NOTED ON THIS PLAN
SETBACKS, B3 ZONING - NOTED ON THIS PLAN
BUILDING HEIGHTS
OFFICE/WAREHOUSE BUILDING - MAX. 60FT
FLEET BUILDING - MAX. 60FT
VEHICLE BARN - MAX. 35FT
ACCESSORY BUILDINGS - MAX. 18FT.



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SCALE: 1" = 100'

OVERALL
LANDSCAPE
PLAN - DPUD
BUFFER ZONES

PRELIMINARY
- NOT FOR
CONSTRUCTION

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NEW PARIS, IN

SHIVE-HATTERY
ARCHITECTURE+ENGINEERING
SEAL



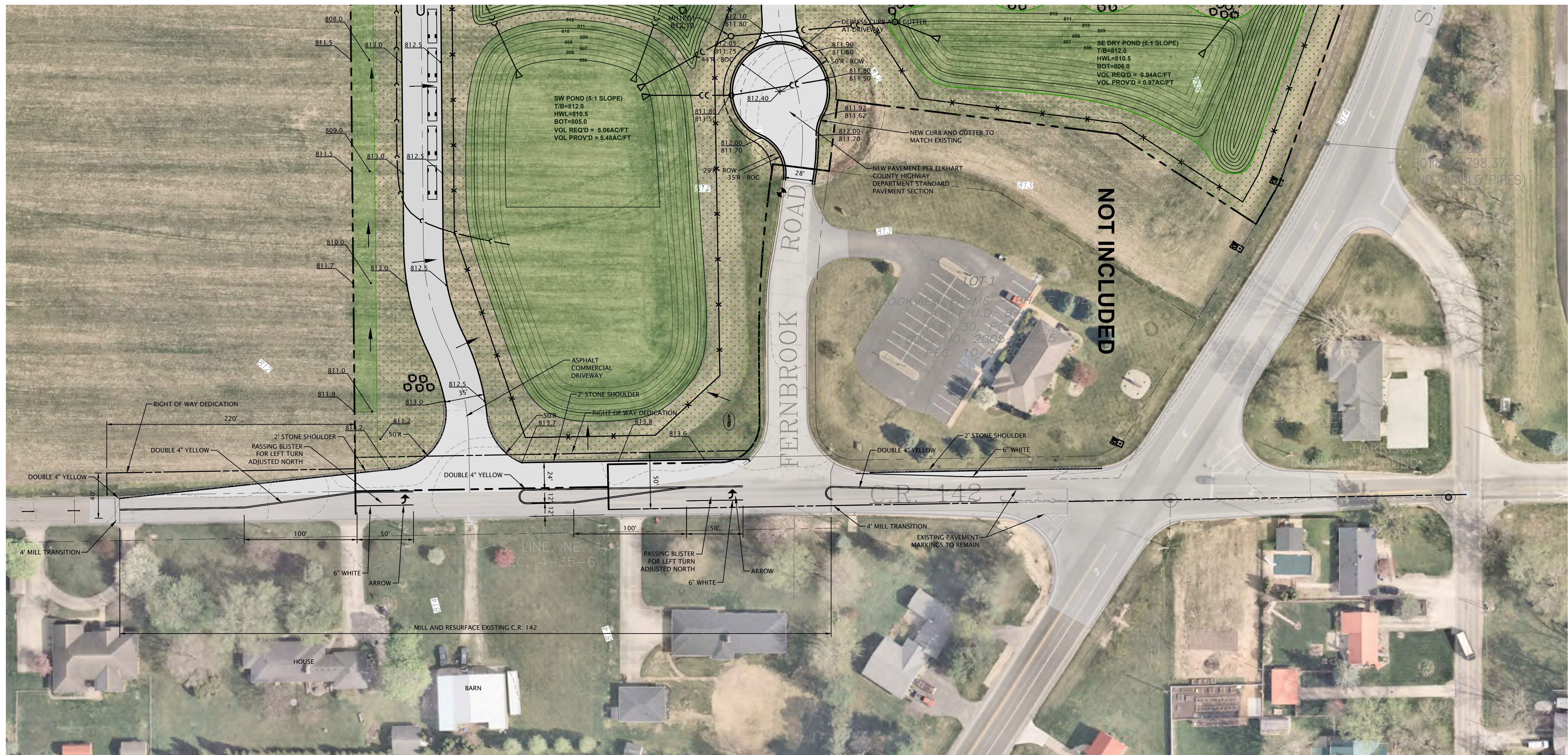
INISOURCE
CLEAR PROJECT NUMBER: 2172203022
NEW PARIS, INDIANA

C108

219.376.4400



EXISTING CONDITIONS



PROPOSED IMPROVEMENTS TO C.R. 142 & FRENBROOK ROAD

LEGEND

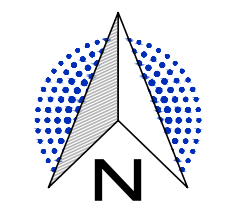
- ASPHALT PAVEMENT - ELKHART COUNTY HIGHWAY DEPARTMENT STANDARD PAVEMENT CROSS SECTION
- 4" (MIN) TOPSOIL & SEEDING/LANDSCAPING (SEE LANDSCAPE PLAN)

NOTES

- ALL WORK IN PUBLIC RIGHT OF WAY TO BE COORDINATED WITH THE ELKHART COUNTY HIGHWAY DEPARTMENT PRIOR TO COMMENCING WORK.
- ALL WORK ON FERNBROOK DRIVE SHALL BE COORDINATED WITH THE DENTAL OFFICE. ACCESS TO THEIR SITE SHALL BE MAINTAINED.



1155 Troutwine Road
Crown Point, IN 46307
P: (219) 662-7710
F: (219) 662-2740
www.dvgteam.com



SCALE: 1" = 50'

SHIVE-HATTERY
ARCHITECTURE-ENGINEERING
SEAL



INISOURCE - NEW OPERATIONS CENTER -
NEW PARIS, IN

PRELIMINARY
- NOT FOR
CONSTRUCTION

DRAWN BY	DVG
APPROVED BY	
ISSUED FOR	DPJD
ISSUE DATE	08/27/2025
PROJECT NUMBER	2172203022
FIELD BOOK	F-401 Book

CR142
IMPROVEMENTS

C109

219.476.1400

INISOURCE
PROJECT NUMBER: 2172203022
NEW PARIS, INDIANA

GENERAL NOTES

1. Elkhart County, DVG Team, Inc. (Engineer) and any Utility Company affected must be notified at least two working days prior to commencement of work. Prior to construction the contractor is to call INDIANA 811.

2. Elevation Datum is U.S.G.S.

4. The locations of existing underground utilities, such as water mains, sewer, gas lines, etc., as shown on the plans have been determined from the best available information and is given for the convenience of the contractor. However, the engineer and the owner do not assume responsibility for the accuracy of the locations shown. It shall be the responsibility of the contractor to contact all utility companies and their facilities shall be located prior to commencement of any work.

5. Wherever obstructions not shown on the plans are encountered during the progress of the work and interfere to such an extent that alteration in the plans is required, the engineer shall be notified prior to any changes and any changes shall only be as approved via written instruction by the Engineer and the local Municipal Engineer.

6. As-built drawings shall be prepared by the contractor and submitted to the engineer as soon as the project is completed. Any change in the length, location or alignment shall be shown in red. "AS BUILT" drawings shall be forwarded to the appropriate utility organizations. Four (4) copies shall be submitted to the Municipal Engineer.
7. All proposed sanitary sewer, storm sewer, water main and service lines under and within 2' of pavement, curbs, and sidewalk shall be backfilled with crushed limestone (INDOT #53) or material consistent with Class I or II material as specified in the contract. The material shall be placed in 8" maximum layers and mechanically compacted to 95% modified proctor density. Slag is not permitted.
8. Materials used for water, sanitary sewer, storm sewer and streets shall conform to the Elkhart County Highway Department and/or INDOT standards and specifications and/or New Paris Conservancy District requirements.

9. Any existing public improvements (sidewalks, curb and gutter, etc.), disturbed during construction shall be replaced in kind, or per current of Elkhart County Highway Department specifications as directed by the Municipal Engineer.

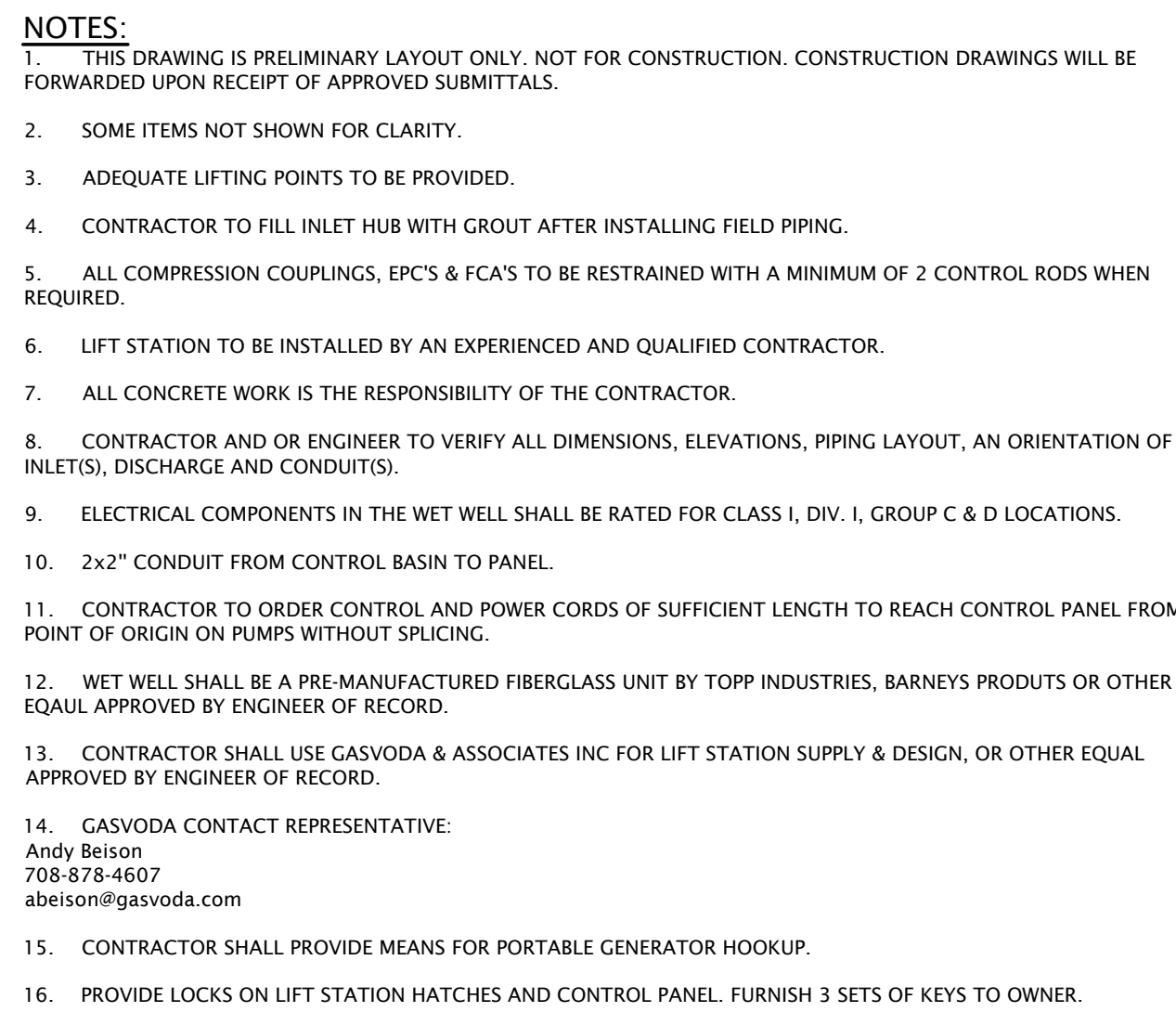
10. All public street construction shall meet performance standards of the current edition of the Indiana Department of Transportation Standard Specifications.

12. The Owner/General Contractor shall be responsible for any and all utility new customer form submissions. Utility company review typically cannot begin until all new customer forms have been submitted.

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1. All Floor Drains shall discharge to the sanitary sewer.
2. Sanitary sewer pipe shall be PVC (SDR 26) ASTM D-3034 with push-on rubber gasket joints and shall be in accordance with ASTM C-3212, unless otherwise noted on the plans.
3. All sanitary sewer manholes shall be air tested for leaks in accordance with ASTM C1244-93 and Standard Test Method for Concrete Sewer Manholes by Negative Air Pressure (Vacuum) Test.
4. Where ductile iron pipe is used for sanitary sewer, the pipe shall be in accordance with ANSI A-21.51 and the joints in accordance with ANSI A-21.11.
5. A deflection test shall be performed on each flexible pipe following the elapse of thirty (30) days after the placement of the final backfill. No pipe shall exceed a deflection of five percent (5%) or greater. The diameter of the rigid ball or mandrel used for a deflection test shall be no less than ninety-five percent (95%) of the base inside diameter of the pipe to be tested dependent on what is specified in the corresponding ASTM standard. The test shall not be performed with the aid of a mechanical pulling device.
6. A leakage test shall be performed using one of the following leakage test types.
 - a.) A hydrostatic test shall be performed with a minimum of two (2) feet of positive head. The rate of exfiltration or infiltration shall not exceed two hundred (200) gallons per inch of pipe diameter per linear mile per day.
 - b.) An air test shall conform to ASTM F1417-92, Standard Test Method for Installation Acceptance of Plastic Gravity Sewer Lines Using Low-Pressure Air, for plastic pipe.
7. All sanitary sewer shall be inspected by New Paris Conservancy District.



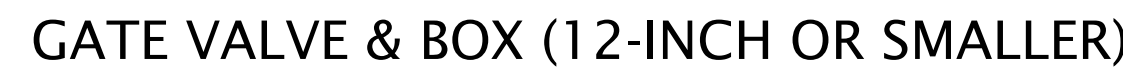
(NOT TO SCALE)



- NOTES:**
1. LIQUID CAPACITY IS 1,500 GALLONS.
 2. TANK DESIGNED FOR NON-TRAFFIC.
 3. SUITABLE NATIVE OR SUB-BASE SHALL BE PREPARED TO HANDLE ANTICIPATED LOADS.
 4. EXCAVATION SHALL BE FILL WITH SUITABLE GRANULAR MATERIAL, AND SHALL BE COMPACTED TO 90% MAXIMUM DRY DENSITY OR TO REQUIREMENTS OF THE PROJECT GEOTECHNICAL ENGINEER.
 5. MINIMUM EXCAVATION SHALL BE 12" 3' x 6' 3" x DEPTH REQUIRED.
 6. PROVIDE FLEXIBLE RESILIENT CONNECTION FITTINGS BY A-LOK PRODUCTS INC (OR APPROVED EQUIV.) AT INLET & OUTLET PIPE.
 7. GREASE INTERCEPTOR SHALL MEET THE REQUIREMENTS OF ARTICLE 6 - SANITARY ENGINEERING, SECTION 110 IAC 6-10.1-66 GREASE TRAPS IN THE INDIANA ADMINISTRATIVE CODE.

1. For PVC C900 pipe installation: DR14 pipe is required. Deflection of pipe joints and bending of pipes are not permitted. All angles shall be made with proper fittings. When restraint of pipe-to-pipe joints are required, all joints and restraint shall be made with proper fittings. All joints shall be made with proper bedding and embedment regardless of pipe's proximity to pavement. Select fill material required for bedding and embedment regardless of pipe's proximity to pavement. See Restrainted Pipe Length table.
2. For Ductile Iron pipe installation: DR12 pipe for sizes 52" to 60" 12-inch minimum joint length. When restraint of pipe-to-pipe joints are required, push-on restraint gaskets shall be used. For restrained steel locking segments are permitted on pipe-to-pipe connections 12-inch nominal size and smaller only. Pipe-to-pipe connections greater than 12-inch nominal size shall be restrained with restrained pipe-to-pipe connections.
3. For HDPE pipe installation: DIPS DR11 for 48" and larger, IPS DR9 for 36", and CTS DR9 for sizes smaller than 36". HDPE Bends, tees and crosses are not acceptable. Pressure testing of HDPE pipe differs from ductile iron and PVC pipe. Pipe fusion must be completed by certified technician: certification to be submitted prior to construction.
4. All fire hydraulic laterals shall be ductile iron pipe.
5. All MJ T-bolts and flange bolts shall have Xylan or Fluorokote[®] anti-corrosion resistant coating.
6. All fittings shall be restrained using MJ restraint flanges.
7. Thrust restraint to be achieved through restraint of pipe joints and fittings. Thrust bolts are not an acceptable means of thrust restraint, except when required in connecting to existing water main and for installation of fire hydrants. See specifications sections 13.10 and 13.12 for water main pipe restraint requirements for ductile iron and PVC pipe.
8. Copper-clad steel sewer wire required on installation of all pipe. Tracer wire shall be taped to pipe or polyethylene tape and secured with electrical splicing and a maximum 18" exposed in waterproofed corners. Continuity shall be tested after completion of backfill.
9. Select fill material required for final backfill when within 5'-6" of pavement.
10. Maintain minimum cover depth of 6'-0" and a maximum 18" of exposed in waterproofed corners. Continuity shall be tested after completion of backfill.
11. Water mains shall be laid at least 10' horizontally from any existing or proposed sanitary sewer, storm sewer, storm manhole, drain or service connection as measured from outside edge of the water main to outside edge of the sanitary manhole, drain or service connection, except as provided for in the following section.
12. **CONSTRUCTED OF WATER MAIN QUALITY REQUIREMENTS** as specified in the IAC 8-3.2 Sections 8, 9 and 17(a). When water mains cross any existing or proposed sanitary or storm sewers (sewers), there shall be at least 18" of vertical clearance between the sewer and the water main as measured from the outside edge of the sewer. This shall be the case where water mains cross above or below sewers. This crossing must be at a minimum angle of forty-five (45) degrees measured from the centerline of each. All these conditions specified shall be maintained for the entire length of the crossing. If the crossing is not at a minimum angle of forty-five (45) degrees, the crossing cannot be met, then the SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY REQUIREMENTS as specified in the IAC 8-3.2 Sections 8, 9 and 17(a).
13. For all water mains separated from water mains and sewers, the Contractor shall refer to the Indiana Administrative Code 327 IAC 8 and IAC 3.
14. All water main shall be installed in accordance with IAC 8-3.2-17. The contractor shall provide pressure and leak testing in accordance with IAC 8-3.2-17.
15. All water main shall be disinfected in accordance with IAC 8-3.2-18.

* ONE FULL LENGTH (18') OF PIPE ON BOTH SIDES OF BRANCH TO BE RESTRAINED.



USE IF DUCTILE IRON IS USED FOR WATER SERVICE



Concrete: 5000 P.S.I. @ 28 Days
ACI318-83 Grade 60 Reinforcing Steel

#4 Bar @ 12" O.C. Each Way

Roof Load: 70 psf
Wind Load: 27 psf or 120 mph

Floor Live Load: 100 psf
Fire Resistance Rating: 1 1/2 hours

ve 17A limestone exposed aggregate fin

Walls to have 17A limestone exposed aggregate finish on exterior.

Double Steel Doors manufactured with 18 gauge steel

standard, keyed mortis lockset.

Capped Roof Design with Built-in Drip Edge

Caulk Provided for Vertical Wall Joints.
CS-102 Butyl Rope Mastic Provided for Floor-to-Wall and Roof-to-Wall Joints



Reviewed and Approved by:

Peerless Midwest Inc	Date
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PUMP HOUSE DETAIL

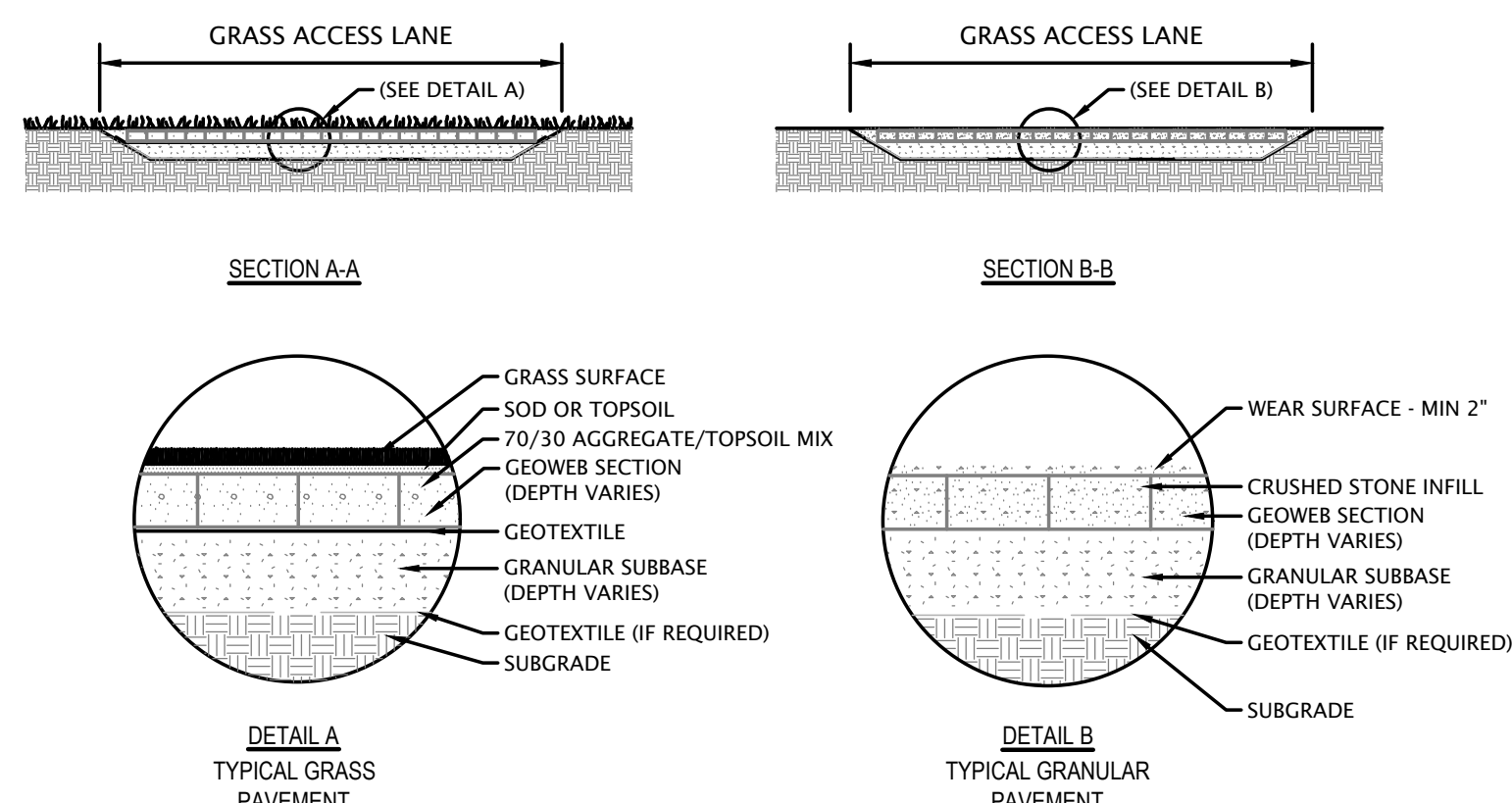
NOTE:
1. FOR ADDITIONAL WELL INFORMATION, SEE PEERLESS MIDWEST SD SET

1. Footing drains, sump pump drains and outside drains shall discharge to the storm sewer where storm sewer is provided.
2. The maximum allowable rate of infiltration or exfiltration shall not exceed 100 gallons, per 24 hours per inch-diameter per mile of sewer pipe.
3. Storm sewers shall be as noted on the plans. If approved by the Engineer, an alternative storm sewer pipe 12 inches and larger can be reinforced concrete minimum Class III, wall B conforming to ASTM C-76; Corrugated High-Density Polyethylene pipe with smooth interior (ASTM D-112) conforming to AASHTO M-330; Corrugated Polypropylene pipe with smooth interior conforming to AASHTO M-330 (ASTM D-112); Corrugated High-Density Polyethylene pipe with smooth interior (PRINSCO, GOLDFLO) conforming to AASHTO M-294 or other INDOT, Type 2 storm sewers as approved by the Engineer.
4. All HDPE storm sewer pipe shall be tested with a mandrel. Maximum deflection shall meet ASTM C1244-93 and Standard Test Method for Concrete Storm Manholes 30 days after backfill, and should be tested throughout the length of the pipe for any mechanical pulling device. The deflection testing shall meet all requirements of IDEM section 327 IAC 36-9-19(a) (b) (c).

A B C D E F G H



PRESTO GEOSYSTEMS
P.O. BOX 2399, 670 NORTH PERKINS ST.
APPLETON, WI 54912-2399
TOLL FREE: 1-800-548-3424
PHONE: (920) 738-1336
FAX: (920) 738-1222
www.prestogeo.com



- NOTES
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

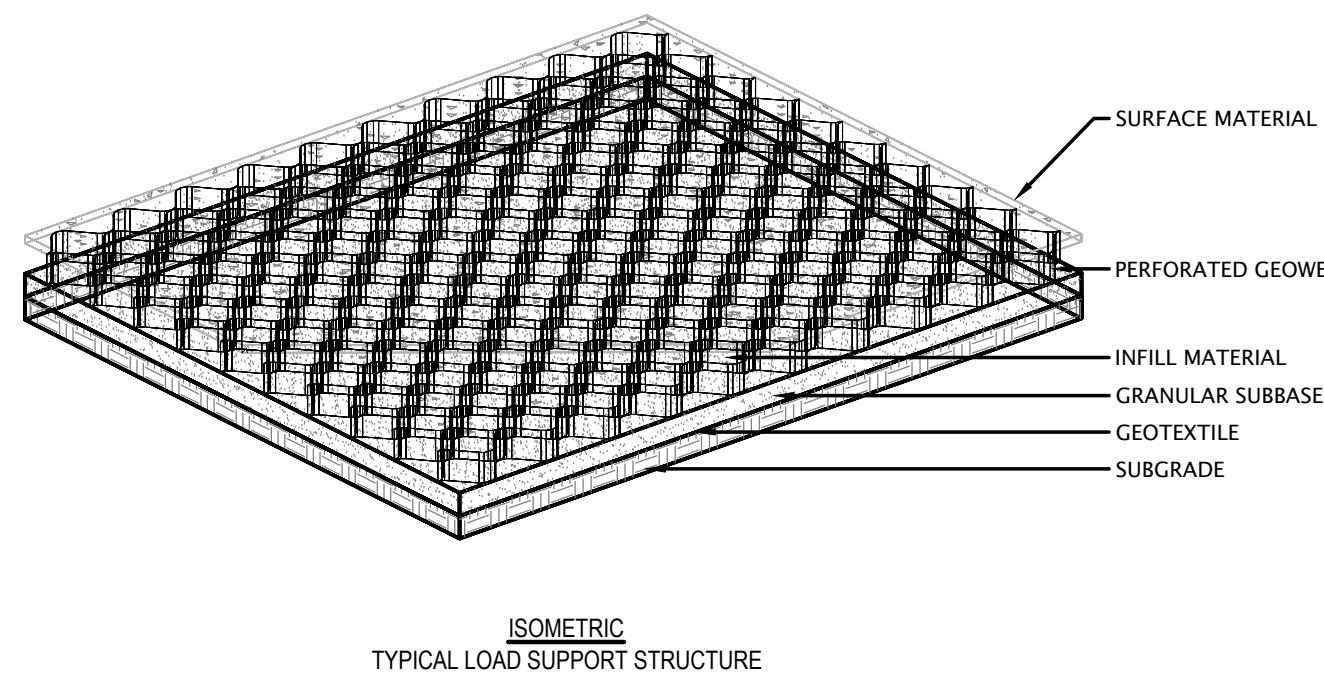


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MANUFACTURER'S NOTES

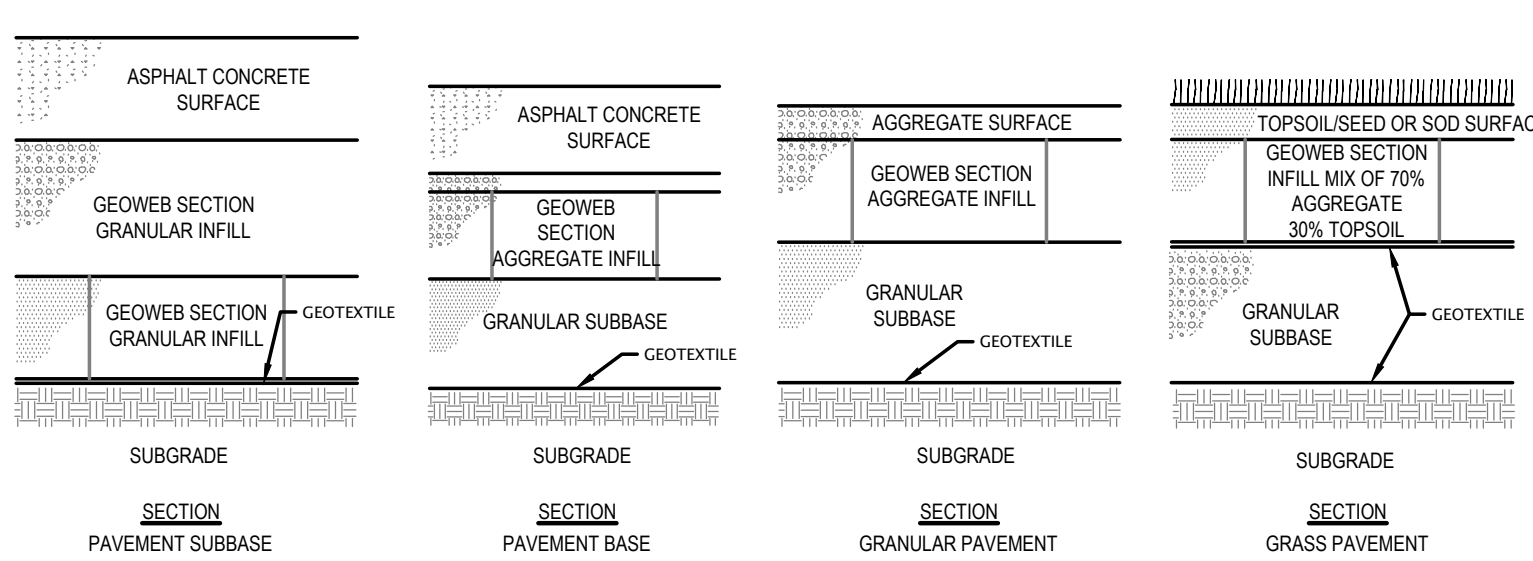
1. THE GEOTEXTILE SHOWN IN THE DETAILS IS OPTIONAL AND BASED ON SITE CONDITIONS.
2. PREPARE THE SUBGRADE AS SHOWN ON THE CONSTRUCTION DRAWINGS.
3. COMPACT THE SOIL TO A MINIMUM 95% STANDARD PROCTOR.
4. VERIFY THAT THE SUBGRADE STRENGTH, IF UNACCEPTABLE, THE SOILS SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE ENGINEER.
5. WHERE REQUIRED, PROVIDE GEOTEXTILE SEPARATION LAYER.
6. WHERE REQUIRED, PLACE AND COMPACT SUBBASE MATERIAL TO A MINIMUM 95% STANDARD PROCTOR.
7. EXPAND THE GEOWEB SECTIONS INTO POSITION AND CONNECT THE END TO END AND INTERLEAF CONNECTIONS WITH ATRA KEYS.
8. PLACE THE SPECIFIED INFILL MATERIAL TO 2 INCHES ABOVE CELL WALLS AND COMPACT TO A MINIMUM 95% STANDARD PROCTOR.
9. PROVIDE ADDITIONAL SURFACE MATERIAL, AS SPECIFIED.



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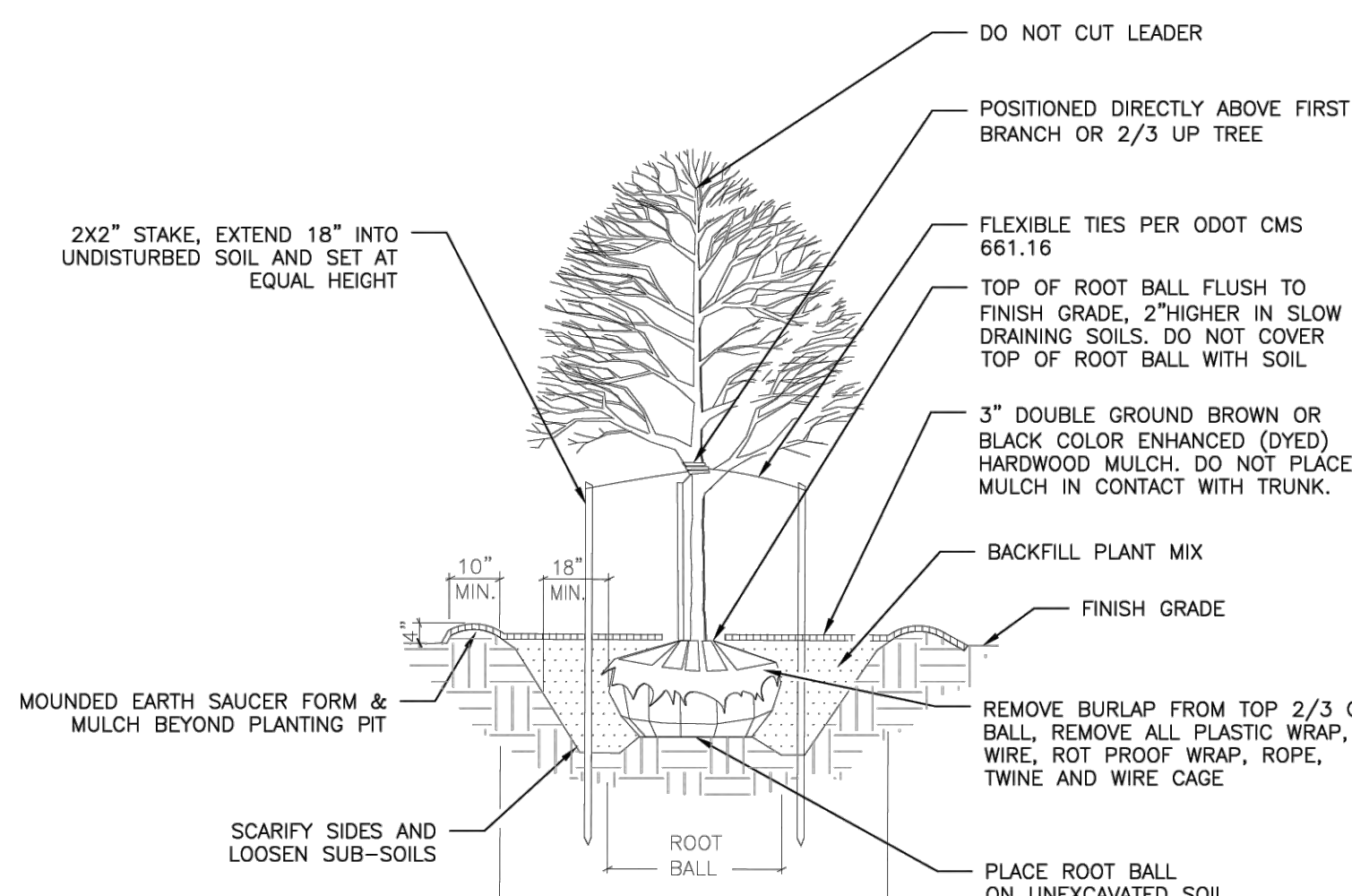
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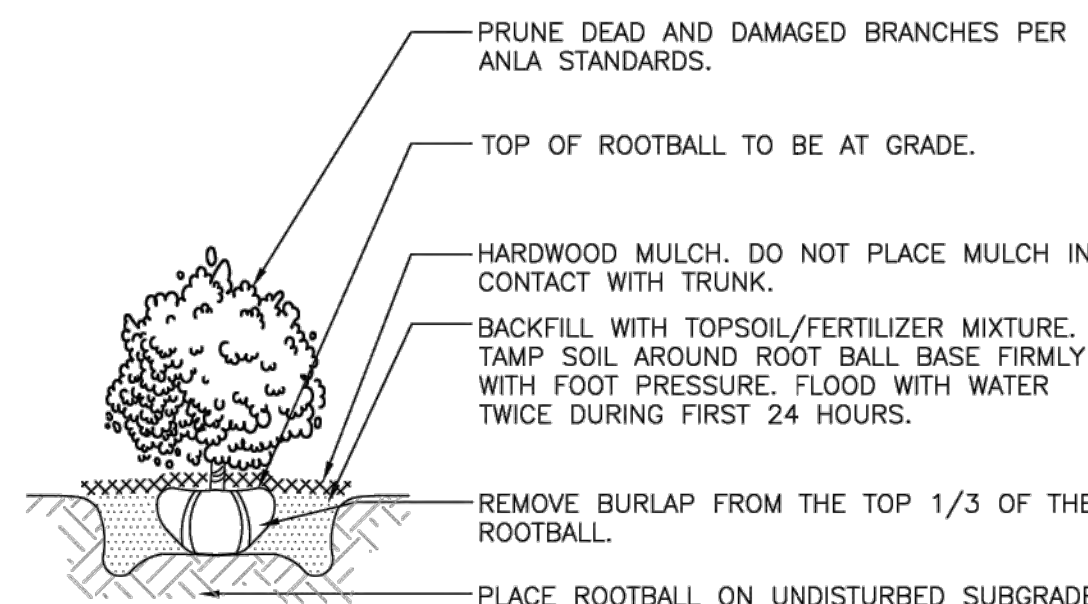


DECIDUOUS TREE PLANTING DETAIL

(NOT TO SCALE)

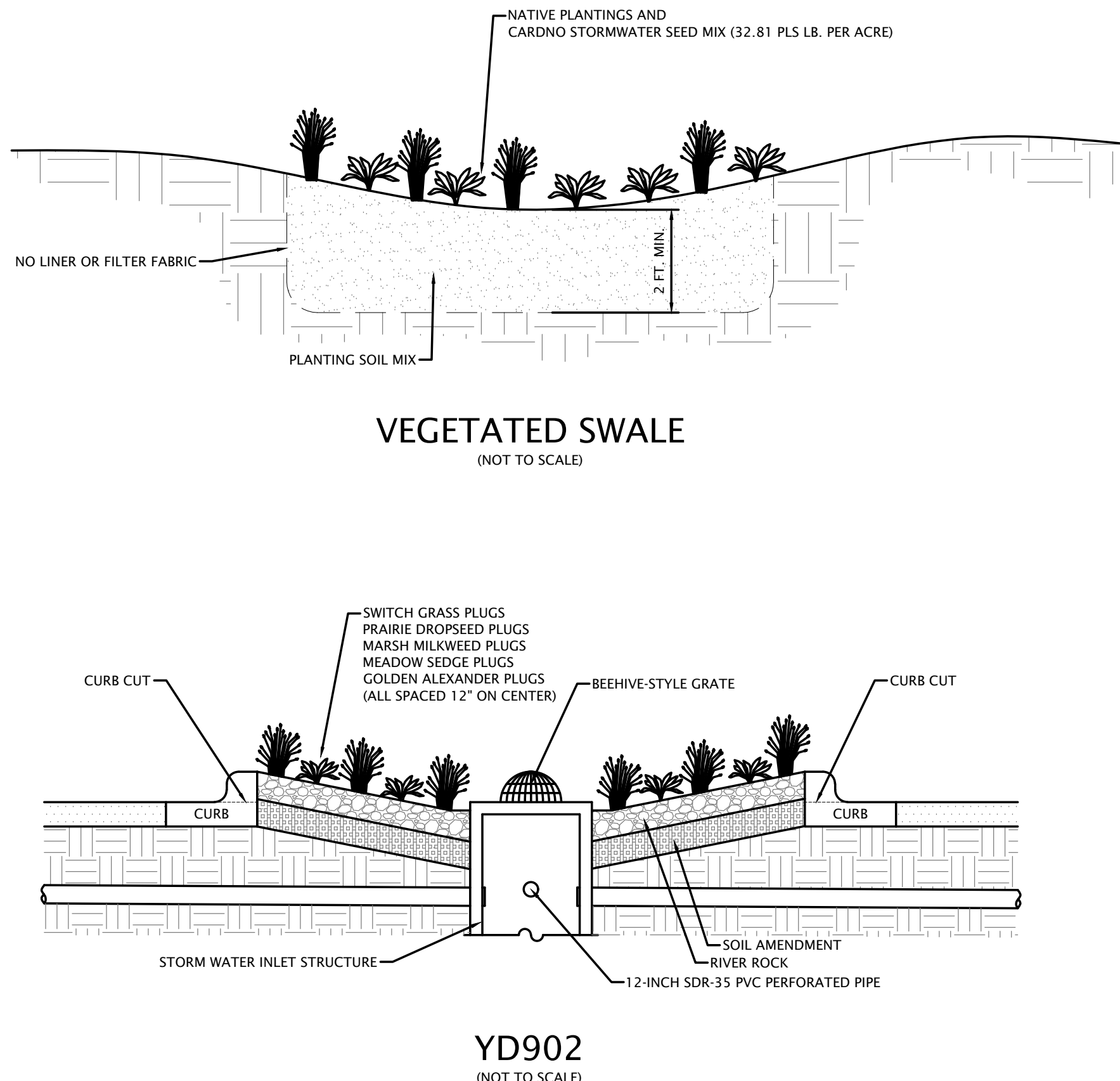
NOTES:

1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE.
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



SHRUB PLANTING DETAIL

(NOT TO SCALE)

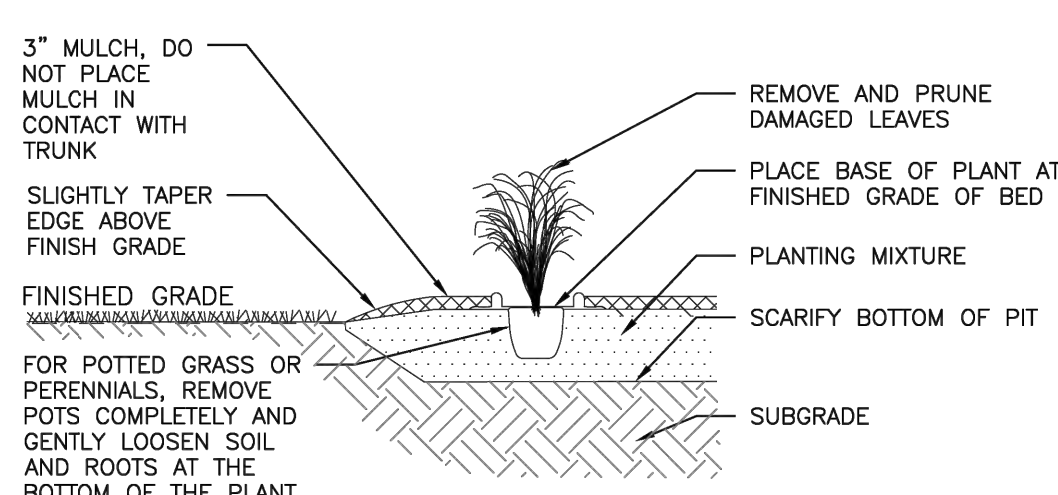


VEGETATED SWALE

(NOT TO SCALE)

NOTES:

1. SOIL AMENDMENT SHALL CONSIST OF 50% SAND, 25% TOPSOIL, AND 25% COMPOST.



GRASS AND PERENNIAL PLANTING DETAIL

(NOT TO SCALE)

SEED MIXES		
WETLAND Native Habitat Restoration		
Basic Wetland Basin Mix (WP5)		
Approximate seed mix weight: 53 lbs with 151 native seeds/sq.ft. 44.2% Grasses/Sedges/Rushes, 25.7% Forbs		
This mix is intended for sites where soil conditions are unstable and hydrologic conditions fluctuate irregularly. This mix is designed for application in sites with a high disturbance regime such as urban wetlands and detention basins that draw down frequently. This mix contains a large percentage of salt-tolerant, native species adapted to irregular water fluctuations associated with urban stormwater runoff. This mix contains a large percentage of "non-conservative" native species and is designed to act as the first wave of revegetation on disturbed sites or where budgetary constraints may apply.		
SCIENTIFIC NAME	COMMON NAME	% SEED
GRASSES/SEDGES/RUSHES		
Carex crinita	Crested Sedge	4.16%
Carex frankii	Frank's Sedge	0.55%
Carex virgata	Slack Grain Sedge	3.19%
Carex vulpinoidea	Fox Sedge	10.37%
Eleocharis palustris	Creeping Spikerush	8.31%
Elymus virginicus	Virginia Wild Rye	1.99%
Juncus effusus	Soft Rush	17.05%
Juncus torreyi	Torrey's Rush	9.70%
Leersia oryzoides	Rice Cut Grass	6.03%
Panicum virgatum	Switch Grass	1.11%
Scirpus atrovirens	Dark Green Bulrush	17.27%
Scirpus cyperinus	Woodgrass	11.96%
Scirpus validus	Softstem Bulrush	8.31%
TOTAL 100%		
FORBS		
Alisma subcordatum	Water Plantain	13.76%
Achillea millefolium	Marsh Milfoil	0.79%
Bidens cernua	Hodding Bur Marigold	12.61%
Helenium autumnale	Common Sneezeweed	2.19%
Ludwigia alternifolia	Buty Seedbox	27.50%
Lycopus americanus	American Bugleweed	6.88%
Nerthrum sedoides	Ditch Sonchewort	17.60%
Senna hebecarpa	Wild Senna	0.32%
Silphium perfoliatum	Cup Plant	0.17%
Verbena hastata	Blue Vervain	11.80%
Veronica gigantea	Tall Ironweed	1.38%
TOTAL 100%		
TEMPORARY COVER GRASSES		
Agrostis alba	Red Top	75.71%
Agrostis alba palustris	Creeping Bent Grass	14.80%
Avena sativa	Seed Oats	9.49%
TOTAL 100%		

SEED MIXES		
PRAIRIE Erosion Control		
Midwestern Prairie Grass Erosion Control Mix (DP2)		
Approximate seed mix weight: 79 lbs with 52 native seeds/sq.ft. 17.6% Grasses/Sedges/Rushes, 82.4% Temporary Cover Grasses		
This mix is intended for slopes where rapid soil stabilization is required and where a native grass community is desired. This mix contains a basic mixture of native grass seed and a heavy component of temporary cover grasses.		
SCIENTIFIC NAME	COMMON NAME	% SEED
GRASSES/SEDGES/RUSHES		
Andropogon gerardii	Big Bluestem	16.11%
Elymus canadensis	Canada Wild Rye	21.90%
Elymus virginicus	Virginia Wild Rye	8.98%
Panicum virgatum	Switch Grass	26.50%
Sorghastrum nutans	Indian Grass	26.50%
TOTAL 100%		
TEMPORARY COVER GRASSES		
Agrostis alba	Red Top	72.55%
Avena sativa	Seed Oats	6.05%
Lolium multiflorum	Annual Rye Grass	21.40%
TOTAL 100%		
Midwestern Tallgrass Prairie Erosion Control Mix with Wildflowers (DP2C)		
Approximate seed mix weight: \$1.15 with 73 native seeds/sq.ft. 71.5% Grasses/Sedges/Rushes, 28.5% Forbs		
This mix is intended for slopes where rapid soil stabilization is required. The mix is designed for high visibility areas. By its color to the Prairie Grass Erosion Control Mix (DP2). Like the DP2 mix, this mix contains a heavy component of temporary cover grasses.		
SCIENTIFIC NAME	COMMON NAME	% SEED
GRASSES/SEDGES/RUSHES		
Andropogon gerardii	Big Bluestem	16.11%
Elymus canadensis	Canada Wild Rye	21.90%
Elymus virginicus	Virginia Wild Rye	8.98%
Panicum virgatum	Switch Grass	26.50%
Sorghastrum nutans	Indian Grass	26.50%
TOTAL 100%		
FORBS		
Aster novae-angliae	New England Aster	7.50%
Coreopsis lanceolata	Sand Coreopsis	8.85%
Echinacea purpurea	Purple Coneflower	2.34%
Helianthus scaberrimus	False Sunflower	2.93%
Monarda fistulosa	Wild Bergamot	6.08%
Rudbeckia hirta	Black-eyed Susan	19.85%
Rudbeckia hirta	Black-eyed Susan	17.34%
Silphium integrifolium	Roast beef	0.68%
Solidago rigida	Stiff Goldenrod	1.98%
Verbena stricta	Hoary Vervain	11.26%
TOTAL 100%		
TEMPORARY COVER GRASSES		
Agrostis alba	Red Top	72.55%
Avena sativa	Seed Oats	6.05%
Lolium multiflorum	Annual Rye Grass	21.40%
TOTAL 100%		

DETENTION BASIN SEED MIXES

(NOT TO SCALE)

SHIVEHATTERY
TECHNICAL ENGINEERING
SEAL



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NEW PARIS, IN

PRELIMINARY
- NOT FOR
CONSTRUCTION

DWG	ISSUED FOR	DP2
DRAWN BY	ISSUED DATE	08/27/2025
PROJECT NUMBER	2172203022	
FIELD BOOK		

ISTORM SEWER
DETAILS

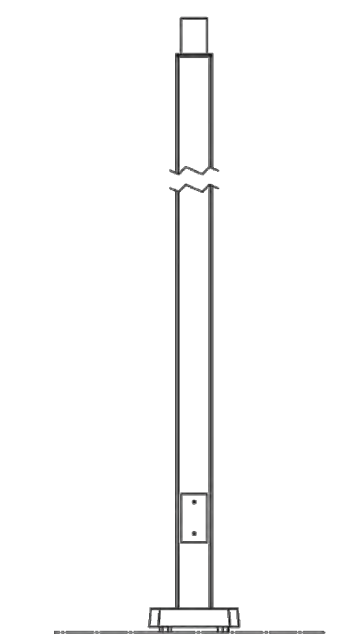
C205

SITE LIGHTING LABEL	MANUFACTURER	CATALOG	DESCRIPTION
A	LITHONIA	DSX2 LED P2 30K 70CRI BLC3	D-SERIES SIZE 2 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 3000K CCT 70 CRI TYPE 3 EXTREME BACKLIGHT CONTROL
B	LITHONIA	DSX2 LED P2 30K 70CRI BLC3	D-SERIES SIZE 2 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 3000K CCT 70 CRI TYPE 3 EXTREME BACKLIGHT CONTROL
C	LITHONIA	DSX2 LED P2 30K 70CRI TFTM	D-SERIES SIZE 2 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW
D	LITHONIA	DSX2 LED P7 30K 70CRI TFTM	D-SERIES SIZE 2 AREA LUMINAIRE P7 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW
E	LITHONIA	DSX2 LED P3 30K 70CRI TFTM	D-SERIES SIZE 3 AREA LUMINAIRE P3 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW

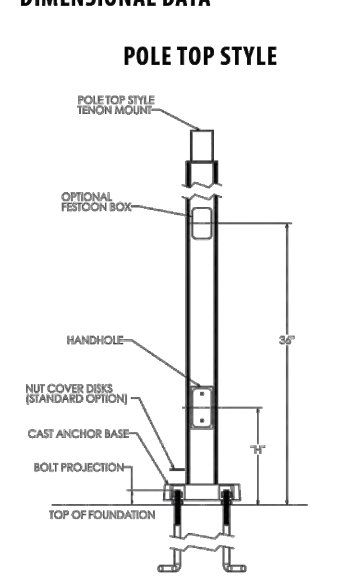


SSA/AOSSA

Square Straight Aluminum Poles



POLE TOP STYLE



Pole Top Style	Height	Standard Base
SSA	4"	12"
SSA	5"	14"
SSA	6"	16"
SSA	6.75"	18"

SSA/AOSSA

Square Straight Aluminum Poles

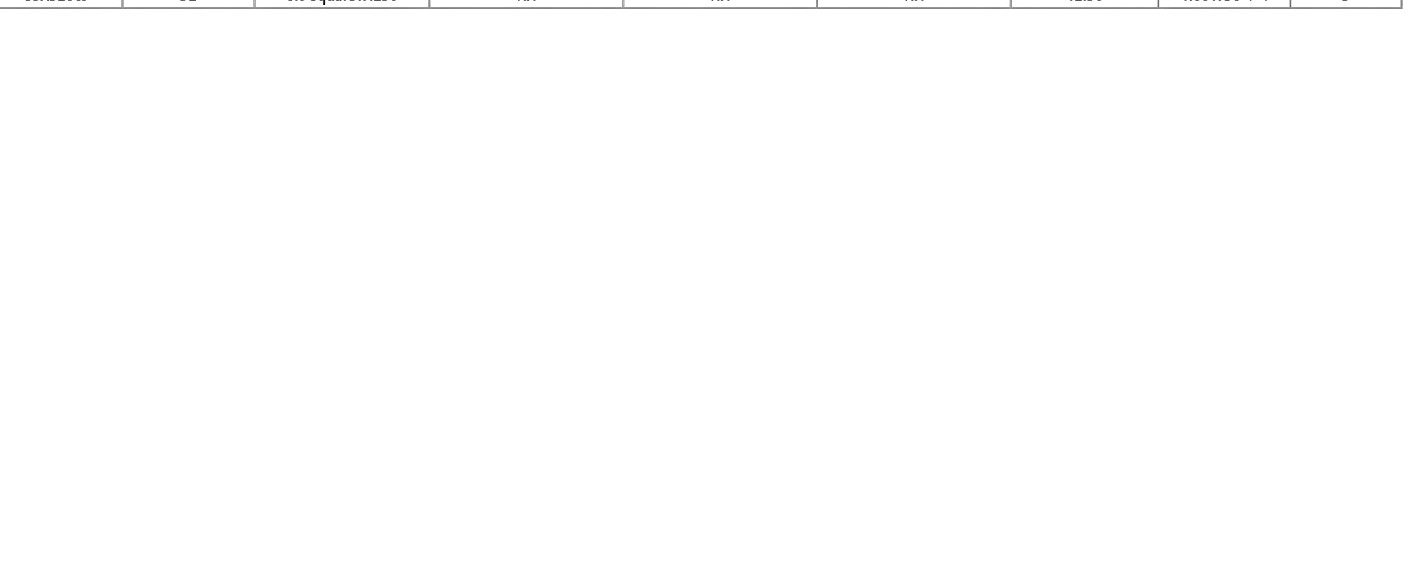
ORDERING INFORMATION

Series	Pole Top Style	Pole Top Diameter	Finish	Options
SSA	SSA	4"	Black Anodize	157 Freon Box
SSA	SSA	5"	Black Anodize	157 Freon Box
SSA	SSA	6"	Black Anodize	157 Freon Box
SSA	SSA	6.75"	Black Anodize	157 Freon Box

Note: Select Base Pole Number from table on page 3.

Non AASHTO RATINGS											
		90 MPH + 1.30 Gust			100 MPH + 1.30 Gust			110 MPH + 1.30 Gust			
Base Pole Height	Nominal Pole Height	Nominal Splice Top Wind Loadings	Max Wt.	Max Wt.	Max Wt.	Max Wt.	Max Wt.	Max Wt.	Max Wt.	Max Wt.	Max Wt.
SSA084AC	8	4.0 Square x 125	14.0	350	10.0	350	8.7	300	9.00	25 x 17 + 3	1
SSA104AC	10	4.0 Square x 125	10.5	260	8.0	260	6.2	200	9.00	25 x 17 + 3	1
SSA124AC	12	4.0 Square x 125	7.7	260	5.7	260	4.2	200	9.00	25 x 17 + 3	1
SSA144C	14	4.0 Square x 125	5.8	200	4.1	200	2.8	200	9.00	25 x 17 + 3	1
SSA154AC	15	4.0 Square x 125	3.8	200	2.6	200	1.6	200	9.00	25 x 17 + 3	1
SSA164AC	16	4.0 Square x 125	3.1	200	1.9	200	1.0	200	9.00	25 x 17 + 3	1
SSA164AC	16	4.0 Square x 188	6.1	200	3.0	200	3.0	200	9.00	25 x 17 + 3	1
SSA184AC	18	4.0 Square x 125	2.1	100	NA	NA	NA	9.00	25 x 17 + 3	1	
SSA184AC	18	4.0 Square x 188	4.6	150	3.0	150	1.8	150	9.00	25 x 17 + 3	1
SSA185G	18	5.0 Square x 188	9.0	260	6.4	260	4.4	260	11.00	25 x 17 + 3.25	2
SSA204G	20	4.0 Square x 188	3.1	150	1.7	150	NA	9.00	25 x 17 + 3	1	
SSA205G	20	5.0 Square x 188	7.1	150	4.7	150	2.9	150	11.00	25 x 17 + 3.25	2
SSA206G	20	6.0 Square x 188	12.3	150	8.7	150	6.0	150	12.50	1.00 X 36 + 4	3
SSA206G	20	6.0 Square x 250	17.8	260	10.2	260	9.7	260	12.50	1.00 X 36 + 4	3
SSA255G	25	5.0 Square x 188	1.0	100	1.0	100	NA	11.00	25 x 17 + 3	2	
SSA256G	25	6.0 Square x 188	6.1	260	3.3	260	1.3	260	12.50	1.00 X 36 + 4	3
SSA256G	25	6.0 Square x 250	10.7	260	7.8	260	4.3	260	12.50	1.00 X 36 + 4	3
SSA306G	30	6.0 Square x 250	4.8	260	2.8	260	NA	12.50	1.00 X 36 + 4	3	
SSA326G	32	6.0 Square x 250	3.2	150	NA	NA	NA	12.50	1.00 X 36 + 4	3	

AASHTO 2013											
Base Pole Number	Nominal Pole Height	Nominal Post Size & Wall Thickness	90 MPH + 1.14 Gust			100 MPH + 1.14 Gust			110 MPH + 1.14 Gust		
			Max Wt.	Max Wt.	Max Wt.	Max Wt.	Max Wt.	Max Wt.	Ball Catch Size	Anchor Bolt Size	Post Base Size
SSA084AC	8	4.0 Square x 125	9.6	350	7.2	300	5.5	350	9.00	25 x 17 + 3	1
SSA104AC	10	4.0 Square x 125	7.0	260	5.0	260	3.7	300	9.00	25 x 17 + 3	1
SSA124AC	12	4.0 Square x 125	5.0	260	3.2	260	2.0	200	9.00	25 x 17 + 3	1
SSA144AC	14	4.0 Square x 125	3.1	200	1.7	200	0.7	200	9.00	25 x 17 + 3	1
SSA154AC	15	4.0 Square x 125	2.3	200	1.0	200	NA	9.00	25 x 17 + 3	1	
SSA164AC	16	4.0 Square x 125	1.5	200	NA	NA	9.00	25 x 17 + 3	1		
SSA164AC	16	4.0 Square x 188	6.1	200	6.5	200	4.5	200	9.00	25 x 17 + 3	1
SSA184AC	18	4.0 Square x 125	0.3	100	NA	NA	9.00	25 x 17 + 3	1		
SSA184AC	18	4.0 Square x 188	6.9	150	10.0	2.8	150	9.00	25 x 17 + 3	1	
SSA204AC	20	4.0 Square x 188	7.6	260	4.6	260	2.7	260	11.00	25 x 17 + 3.25	2
SSA204AC	20	4.0 Square x 188	4.9	150	2.8	150	1.2	150	9.00	25 x 17 + 3	1
SSA205G	20	5.0 Square x 188	5.4	150	2.9	150	1.1	150	11.00	25 x 17 + 3.25	2
SSA206G	20	6.0 Square x 188	8.5	150	4.9	150	2.2	150	12.50	1.00 X 36 + 4	3
SSA206G	20	6.0 Square x 250	15.2	260	10.3	260	6.6	260	12.50	1.00 X 36 + 4	3
SSA255G	25	5.0 Square x 188	0.6	100	NA	NA	11.00	25 x 17 + 3	2		
SSA256G	25	6.0 Square x 188	1.2	260	NA	NA	12.50	1.00 X 36 + 4	3		
SSA256G	25	6.0 Square x 250	6.0	260	2.8	260	NA	12.50	1.00 X 36 + 4	3	
SSA306G	30	6.0 Square x 250	NA	NA	NA	NA	12.50	1.00 X 36 + 4	3		
SSA326G	32	6.0 Square x 250	NA	NA	NA	NA	12.50	1.00 X 36 + 4	3		

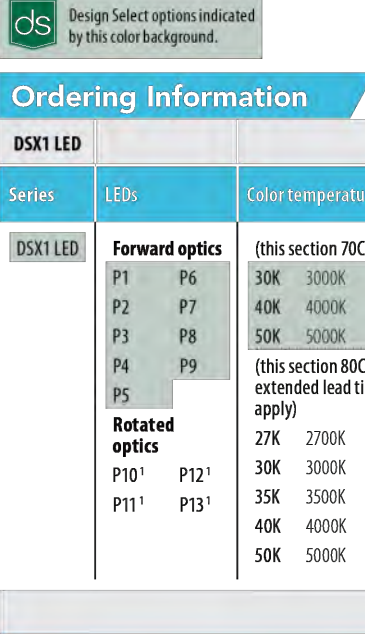


SITE LIGHTING LABEL	MANUFACTURER	CATALOG	DESCRIPTION
A	LITHONIA	DSX2 LED P2 30K 70CRI BLC3	D-SERIES SIZE 2 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 3000K CCT 70 CRI TYPE 3 EXTREME BACKLIGHT CONTROL
B	LITHONIA	DSX2 LED P2 30K 70CRI BLC3	D-SERIES SIZE 2 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 3000K CCT 70 CRI TYPE 3 EXTREME BACKLIGHT CONTROL
C	LITHONIA	DSX2 LED P2 30K 70CRI TFTM	D-SERIES SIZE 2 AREA LUMINAIRE P2 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW
D	LITHONIA	DSX2 LED P7 30K 70CRI TFTM	D-SERIES SIZE 2 AREA LUMINAIRE P7 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW
E	LITHONIA	DSX2 LED P3 30K 70CRI TFTM	D-SERIES SIZE 3 AREA LUMINAIRE P3 PERFORMANCE PACKAGE 3000K CCT 70 CRI FORWARD THROW

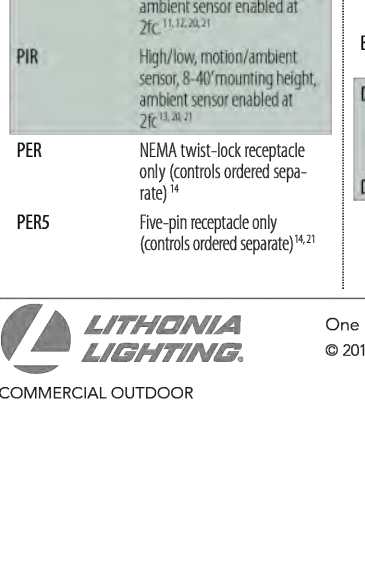


SSA/AOSSA

Square Straight Aluminum Poles



POLE TOP STYLE



Pole Top Style	Height	Standard Base
SSA	4"	12"
SSA	5"	14"
SSA	6"	16"
SSA	6.75"	18"

SSA/AOSSA

Square Straight Aluminum Poles

ORDERING INFORMATION

Series	Pole Top Style	Pole Top Diameter	Finish	Options
SSA	SSA	4"	Black Anodize	157 Freon Box
SSA	SSA	5"	Black Anodize	157 Freon Box
SSA	SSA	6"	Black Anodize	157 Freon Box
SSA	SSA	6.75"	Black Anodize	157 Freon Box

Note: Select Base Pole Number from table on page 3.

DRILL PATTERN
"MG3"

DRILL PATTERN
"W5"

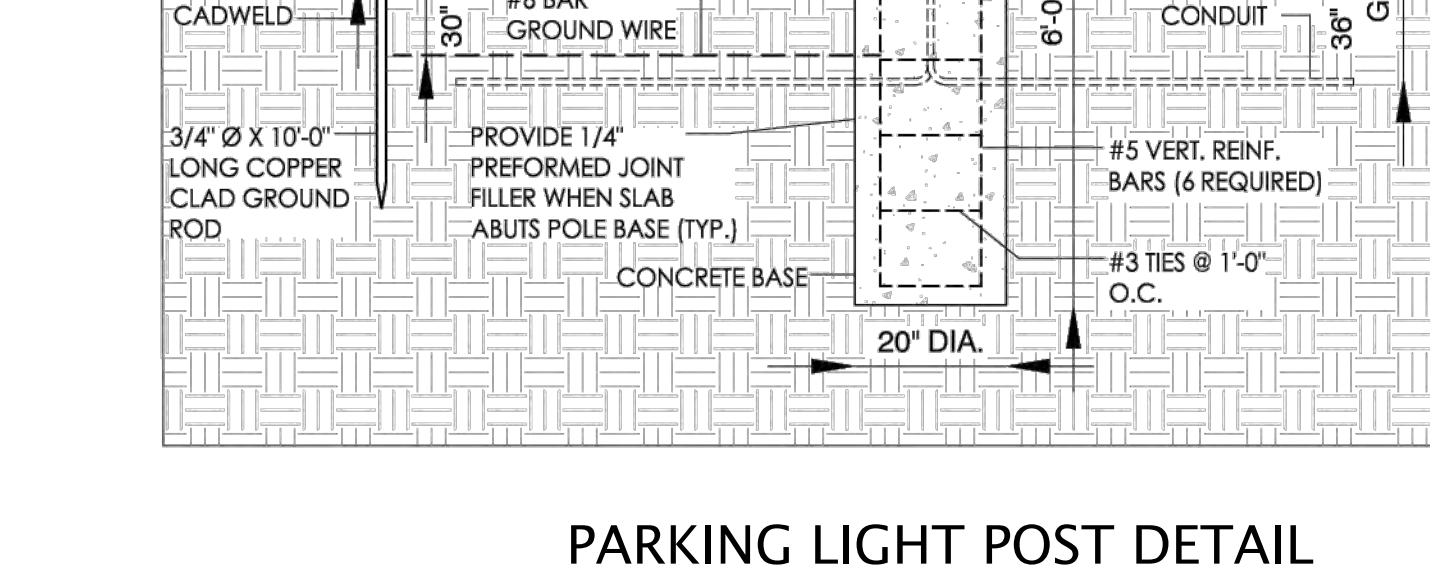
DRILL PATTERN
"K8"

DRILL PATTERN
"K8"

LED PARKING LOT
LIGHT FIXTURE - SEE
CONSULTANT
PROVIDED
PHOTOMETRIC

Technical drawing showing a cross-section and elevation view of a pole foundation. The drawing includes the following labels and dimensions:

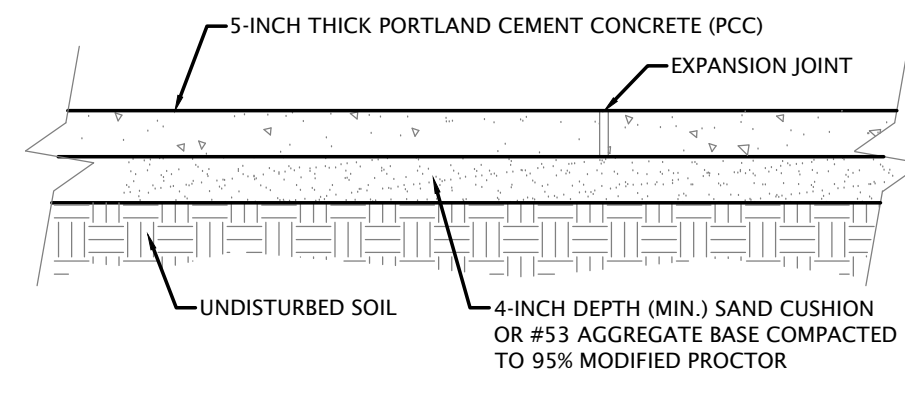
- POLE STANDARD**: The vertical pole structure.
- HAND HOLE**: A hole in the pole for access.
- GROUND LUG**: A component for grounding the pole.
- CONNECT GROUND WIRE TO GRND. LUG ON POLE**: Instruction for connecting the ground wire.
- 1/8" SLOPE**: The slope of the ground surface.
- 2'-0"**: The height of the pole above the finished grade.
- FINISHED GRADE**: The ground level after construction.
- MIN.**: Minimum dimensions for the foundation.
- BELOW GRADE**: The portion of the foundation below the ground level.
- BASE COVER PLATE**: The plate at the base of the pole.
- LEVELING NUT**: A nut used for leveling the base.
- ANCHOR BOLTS PER MANUF. REQ'S.**: Bolts securing the foundation to the ground.
- BOLT PATTERN PER TEMPLATE AS FURNISHED BY FIXTURE MFR.**: Reference to the bolt pattern template.
- 22'-0" ABOVE GRADE**: The total height of the pole above the ground level.



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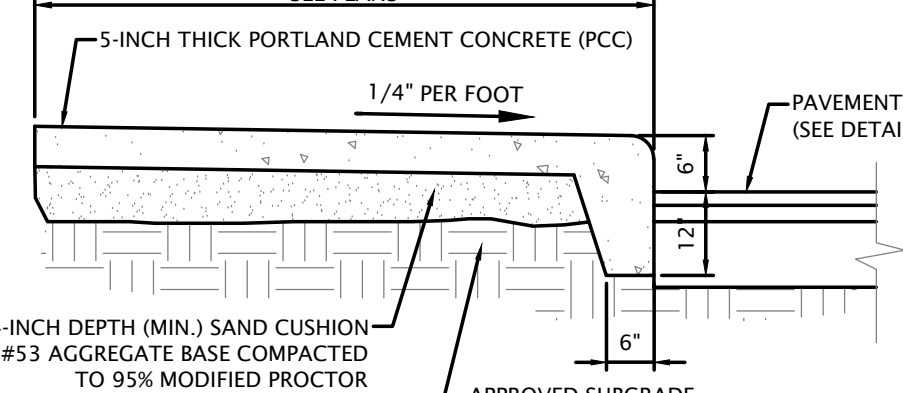
CONCRETE FLAT WORK NOTES:

1. PROVIDE 4-INCH EXPANSION JOINT CONFORMING TO ASTM D-1751 ALONG BACK OF CURBS, DRIVEWAYS, STEPS, WALLS AND ACROSS THE SIDEWALK AT INTERVALS NOT TO EXCEED 40 FEET.
2. EXTEND EXPANSION JOINT MATERIAL FULL DEPTH OF THE SLAB.
3. PROVIDE TOOLED "V-GROOVE" CONTROL JOINT SPACED AT A DISTANCE EQUAL TO THE WIDTH OF THE WALK BUT NOT OVER 10 FEET APART, OR AS SPECIFIED ON THE SITE PLAN.
4. CONCRETE SHALL BE CLASS "A" 6,400 PSI IN 28 DAYS, MEETING THE REQUIREMENTS OF THE MOST RECENT INDOT STANDARD SPECIFICATIONS MANUAL.
5. ALL CONCRETE FLAT WORK SHALL BE REINFORCED WIRE MESH 6"x6" x 18/10 GAUGE.

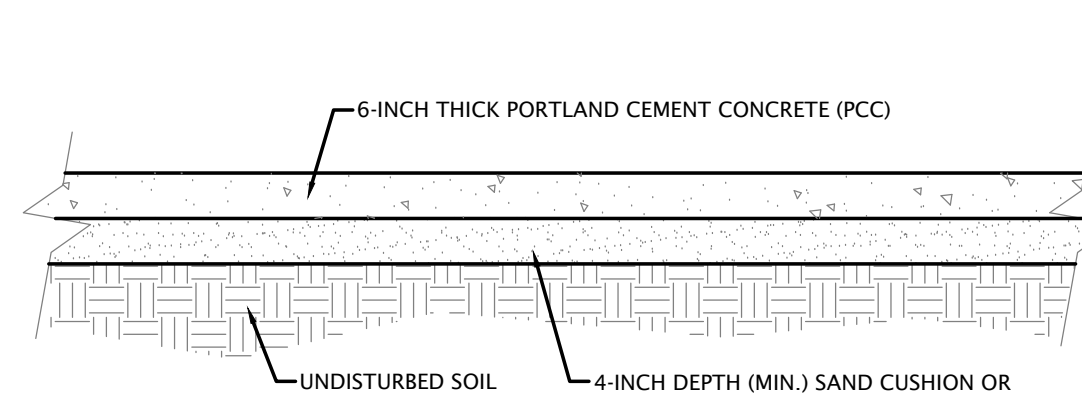


SIDEWALK
(NOT TO SCALE)

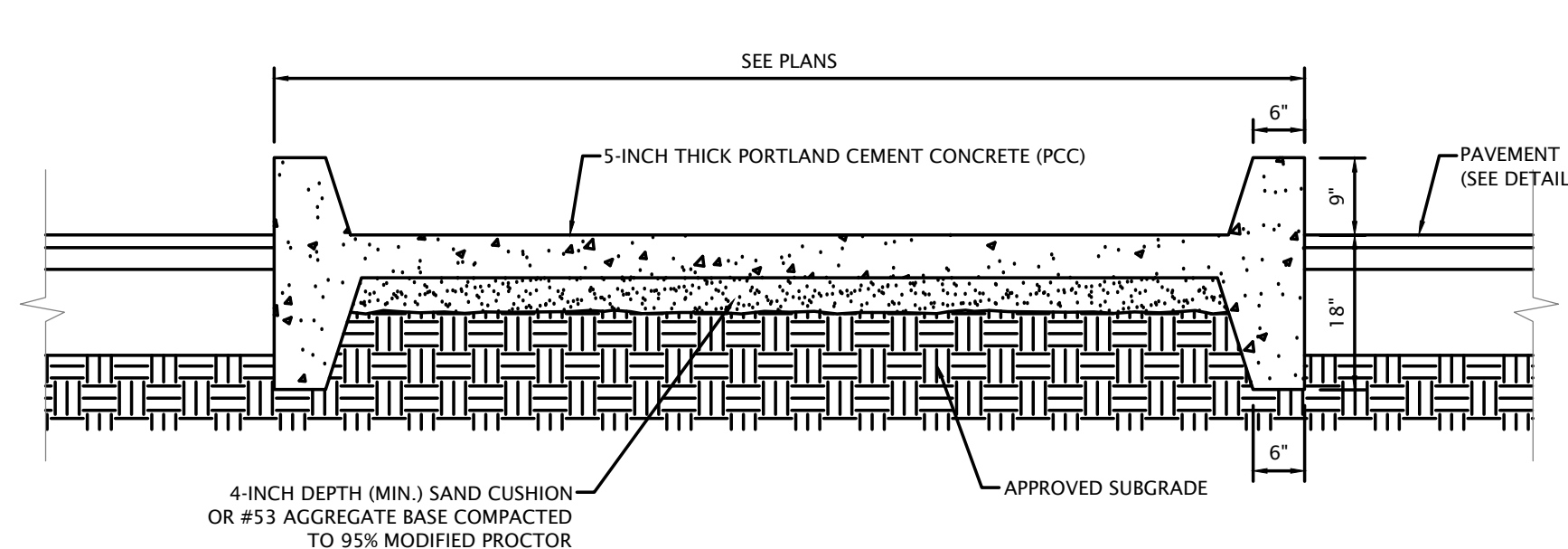
1/4-INCH WIDE CONSTRUCTION JOINT SPACED
AT A DISTANCE EQUAL TO THE WIDTH



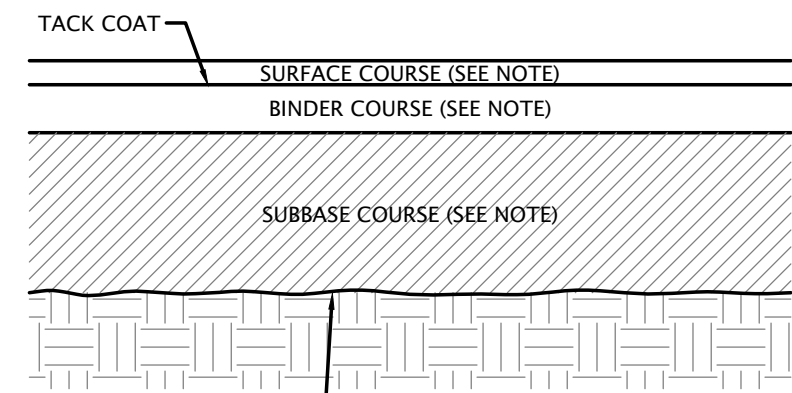
MONOLITHIC CURB & SIDEWALK
(NOT TO SCALE)



TRASH ENCLOSURE AND EQUIPMENT PAD
(NOT TO SCALE)



CONTAINMENT PAD DETAIL
(NOT TO SCALE)



SURFACE COURSE

1.5 INCHES
INDOT HMA TYPE B SURFACE, 9.5mm

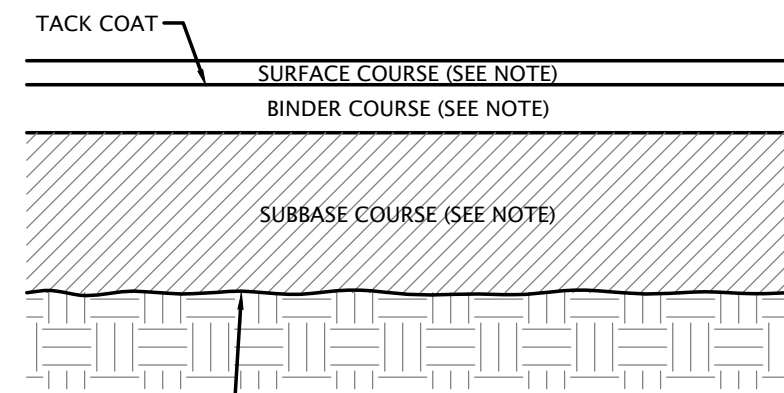
BINDER COURSE

3.0 INCHES
INDOT HMA TYPE B INTERMEDIATE, 19.0mm

SUBBASE COURSE

9.0 INCHES OF #53 COMPACTED LIMESTONE AGGREGATE
ON APPROVED PROOF-ROLLED SUBGRADE

STANDARD ASPHALT PAVEMENT
CROSS SECTION
(NOT TO SCALE)



SURFACE COURSE

1.5 INCHES
INDOT HMA TYPE B SURFACE, 9.5mm

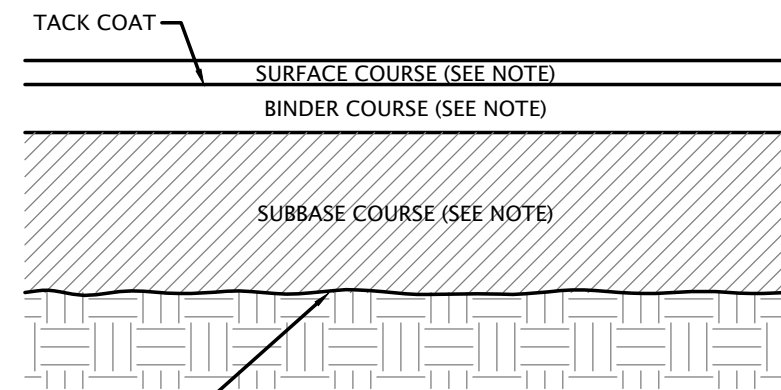
BINDER COURSE

3.0 INCHES
INDOT HMA TYPE B INTERMEDIATE, 19.0mm

SUBBASE COURSE

4.0 INCHES
440 lbs/syd INDOT HMA TYPE D BASE
ON 10 INCHES #53 COMPACTED LIMESTONE AGGREGATE
ON APPROVED PROOF-ROLLED SUBGRADE

HEAVY DUTY ASPHALT PAVEMENT
CROSS SECTION
(NOT TO SCALE)



SURFACE COURSE

1.4 INCH
165 lbs/syd INDOT HMA TYPE D SURFACE

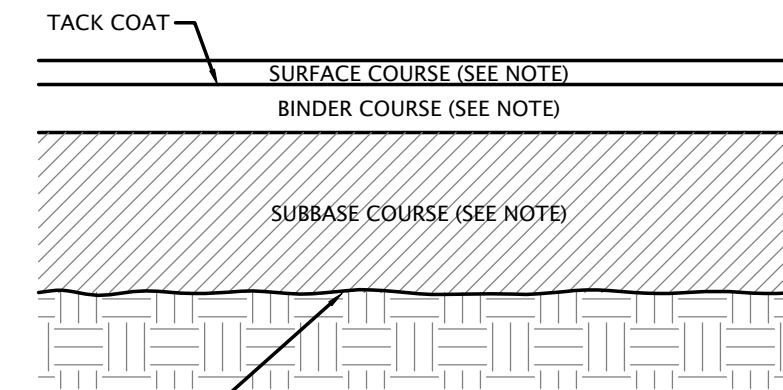
BINDER COURSE

3 INCHES
330 lbs/syd INDOT HMA TYPE D INTERMEDIATE

SUBBASE COURSE

4 INCHES
330 lbs/syd INDOT HMA TYPE D BASE
ON 10 INCHES #53 COMPACTED LIMESTONE AGGREGATE
ON APPROVED PROOF-ROLLED SUBGRADE

ELKHART COUNTY ROAD ASPHALT PAVEMENT
Cul-de-Sac - CROSS SECTION
(NOT TO SCALE)



SURFACE COURSE

1.4 INCH
165 lbs/syd INDOT HMA TYPE D SURFACE

BINDER COURSE

3 INCHES
330 lbs/syd INDOT HMA TYPE D INTERMEDIATE

SUBBASE COURSE

4 INCHES
440 lbs/syd INDOT HMA TYPE D BASE
ON 10 INCHES #53 COMPACTED LIMESTONE AGGREGATE
ON APPROVED PROOF-ROLLED SUBGRADE

ELKHART COUNTY ROAD ASPHALT PAVEMENT
CR 142 - CROSS SECTION
(NOT TO SCALE)

ELKHART COUNTY ROADS

GUIDELINES AND STANDARDS

FOR

DESIGN AND PUBLIC IMPROVEMENT

"STREET STANDARDS"

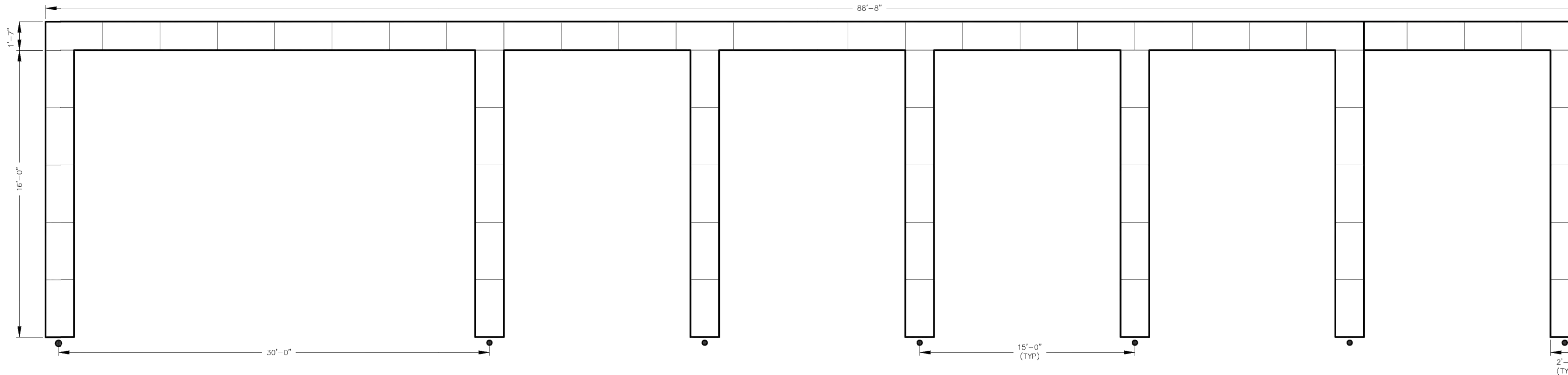
July 8, 2024

BY:



ELKHART COUNTY HIGHWAY DEPARTMENT
610 Steury Ave
Goshen, IN 46528
574-534-9394

THE ELKHART COUNTY HIGHWAY DEPARTMENT
STREET STANDARDS SHALL BE CONSIDERED PART OF
THE CONTRACT DOCUMENTS



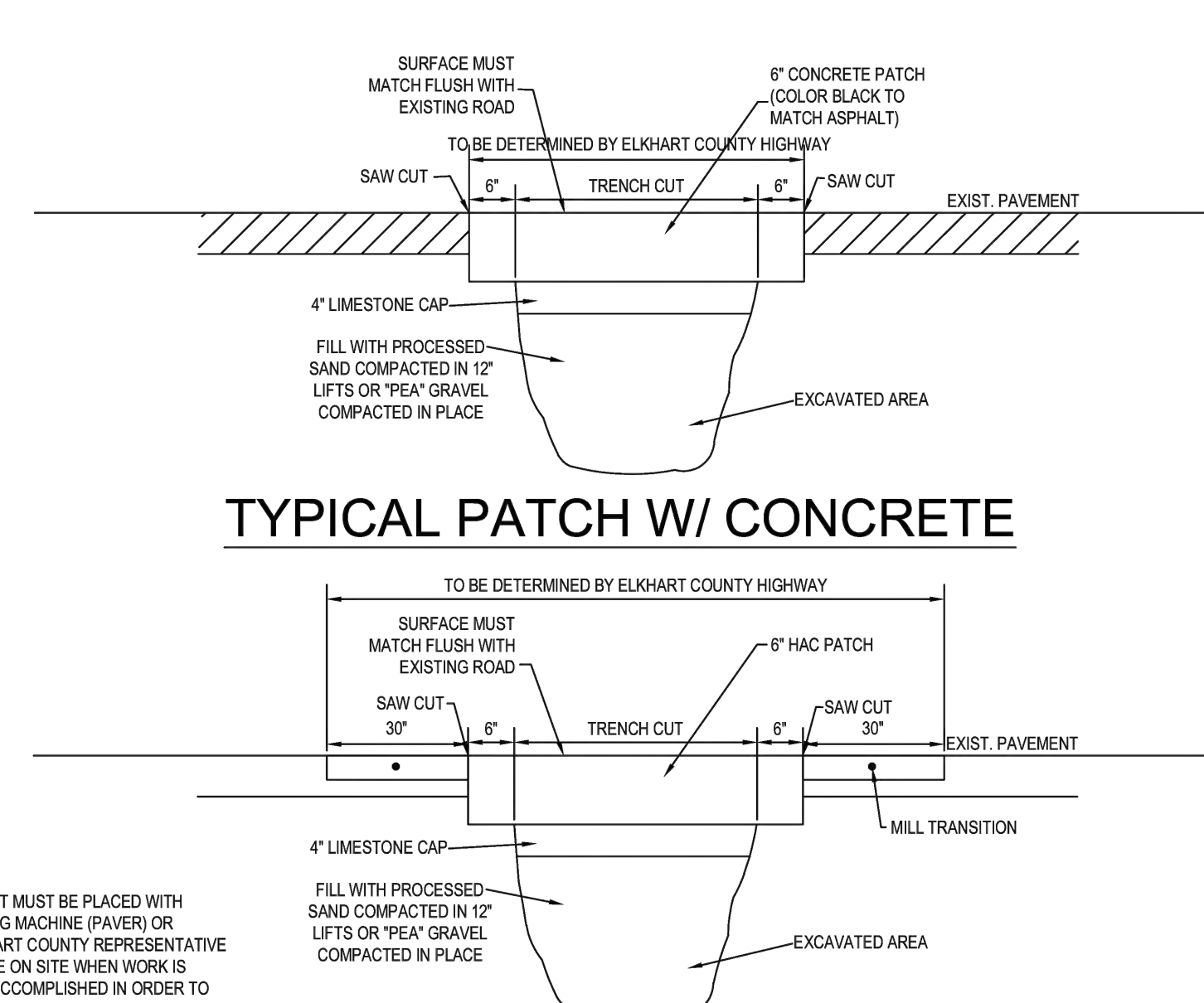
PRECAST CONCRETE STORAGE BIN
(NOT TO SCALE)

Please notify affected parties in each category			
POLICE/DEPARTMENT	PHONE#	FAX#	POST OFFICES
911 Center	574-533-4151	574-537-2350	Bristol
Elkhart County Sheriff	Notify 911 Center		Elkhart
State Police	574-206-2931	800-421-4912	Goshen
Bristol City	574-295-7070	574-293-0679	Middlebury
Elkhart City	574-295-7070	574-293-0679	Wakarusa
Goshen City	574-295-7070	574-293-0679	Nappanee
Middlebury City	574-295-7070	574-293-0679	
Nappanee City	574-295-7070	574-293-0679	
Wakarusa City	574-295-7070	574-293-0679	
FIRE DEPARTMENT	PHONE#	FAX#	NEWS MEDIA
Bristol City	574-295-7070	574-293-0679	Elkhart Truth
Elkhart City	574-295-7070	574-293-0679	Goshen News
Goshen City	574-295-7070	574-293-0679	WKAM
Middlebury City	574-295-7070	574-293-0679	WTRC
Nappanee City	574-295-7070	574-293-0679	Channel 16
Wakarusa City	574-295-7070	574-293-0679	
EMERGENCY MANAGEMENT	PHONE#	FAX#	SCHOOLS
Director	574-535-6590	574-535-6591	Buono
Office	574-674-8894	574-287-1840	Concord
			Elkhart
			Fairfield
			Goshen
			Middlebury
			Northwood
ELKHART COUNTY	PHONE#	FAX#	
Eng/Maintenance	574-534-9394	574-533-7103	

Numbers are correct as of 9/1/10. Elkhart County is not responsible for any number changes after 9/1/10.

ROAD CLOSING NOTIFICATION NUMBERS/2010

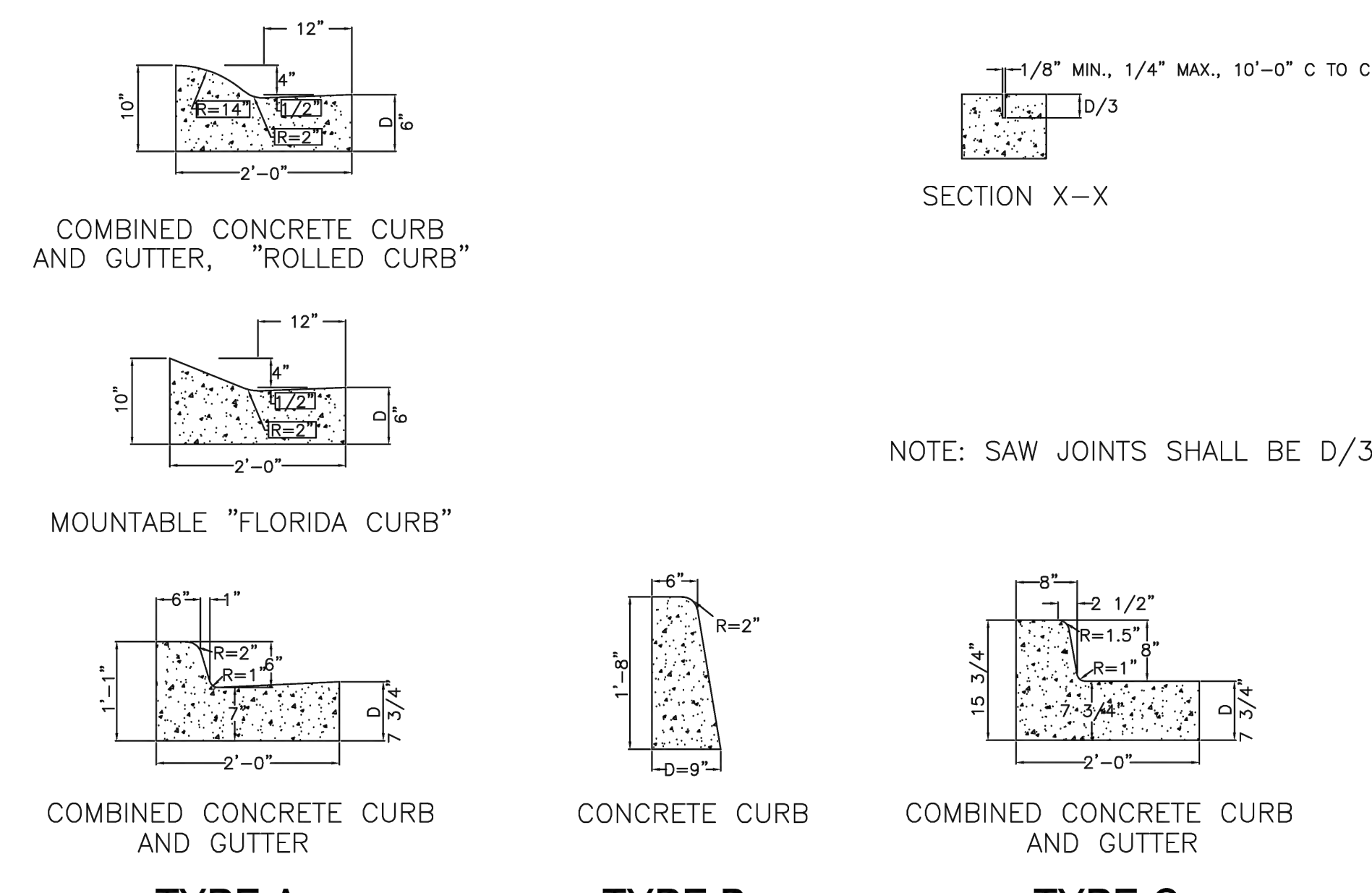
FIG.17



TYPICAL PATCH W/ CONCRETE

TYPICAL ASPHALT PATCH

FIG.4



CURB & GUTTER DETAILS

FIG.7

EROSION CONTROL MEASURES

CHEMICAL STABILIZATION

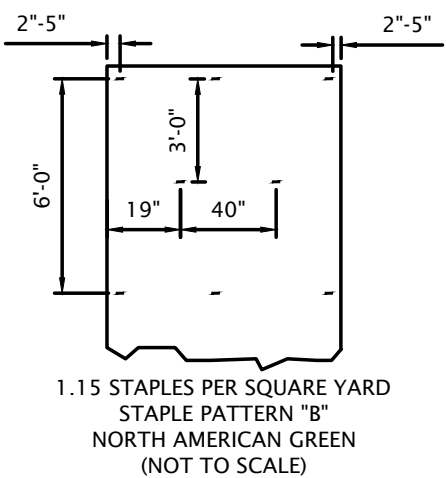
- MATERIAL: SOFT Pliable MATTING SUCH AS JUTE, COIR OR BURLAP, APPLIED POLYMER SYSTEMS, "SILT STOP" DRY POWDER (OR APPROVED EQUAL).
- COVERAGE: "SILT STOP" DRY POWDER IS A SOIL-SPECIFIC MATERIAL. A SOIL SAMPLE MUST BE SUBMITTED TO THE MANUFACTURER TO DETERMINE PROPER APPLICATION RATES.
- INSTALLATION:
1. PREPARE THE SITE BY FILLING IN GULLIES, RILLS AND LOW SPOTS.
 2. APPLY "SILT STOP" POWDER (DRY) OVER DRY GROUND WITH A SEED/FERTILIZER SPREADER.
 3. SELECT THE TYPE AND WEIGHT OF EROSION CONTROL BLANKET TO FIT THE SITE CONDITIONS (e.g. SLOPE, CHANNEL AND FLOW VELOCITY).
- MAINTENANCE:
1. DURING VEGETATIVE ESTABLISHMENT, INSPECT AFTER STORM EVENTS FOR ANY EROSION.
 2. IF ANY AREA SHOWS EROSION, REPAIR THE GRADE AND REAPPLY "SILT STOP" POWDER AND RE-LAY AND STAPLE THE BLANKET.
 3. AFTER VEGETATIVE ESTABLISHMENT, CHECK THE TREATED AREA PERIODICALLY.

GEOTEXTILES

- MATERIAL: NORTH AMERICAN GREEN - SC 150 or DS 150 BLANKET
- SC 150 WHEN PLACEMENT OCCURS IN THE FALL/WINTER AND WHEN DURABILITY IS REQUIRED
- DS 150 DEGRADES MORE RAPIDLY, ALLOWING FOR SOONER MOWING OF THE STABILIZED AREA

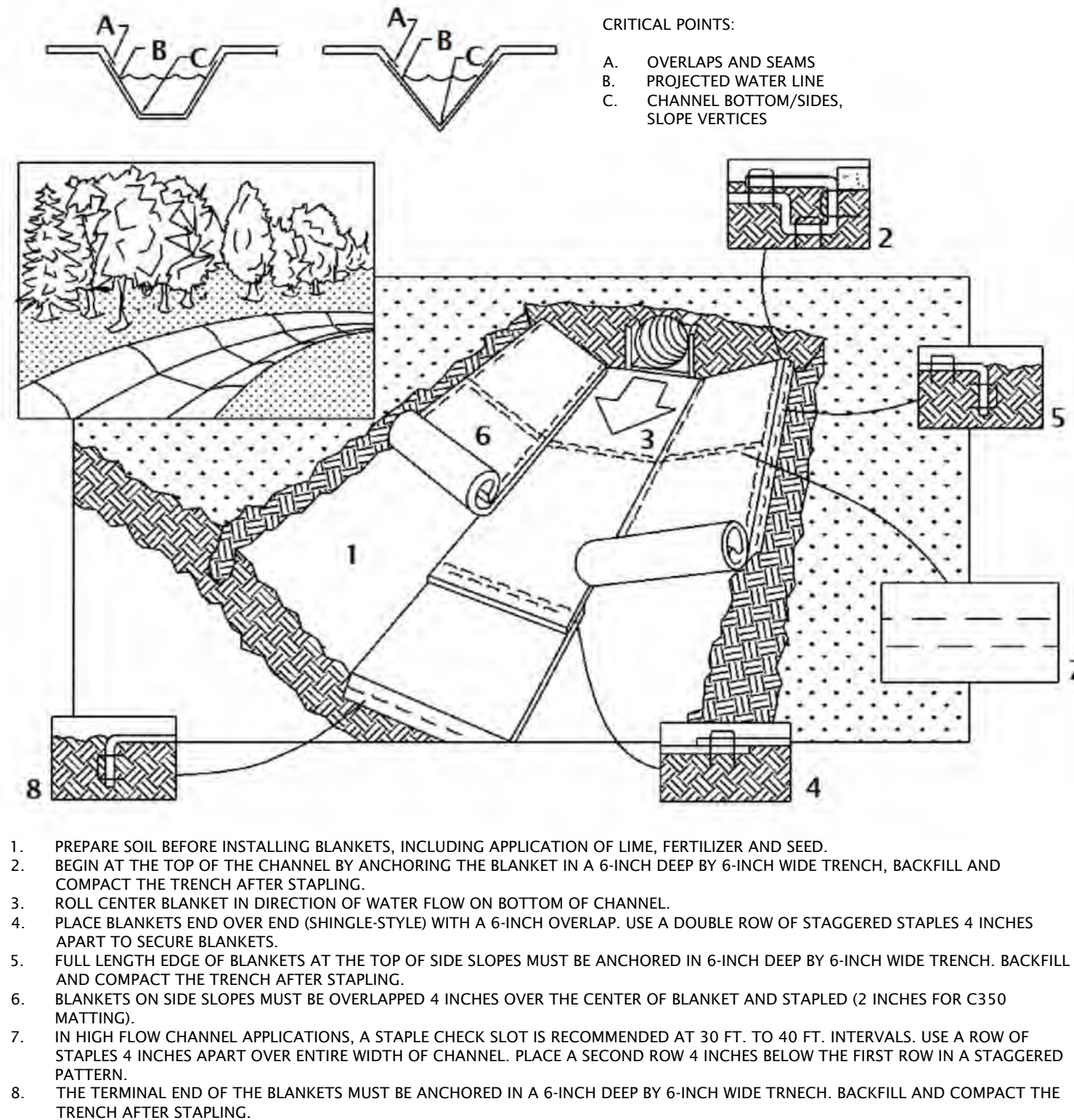
EROSION CONTROL BLANKET (SURFACE-APPLIED)

- ANCHORING: STAPLES AS RECOMMENDED BY THE MANUFACTURER. FOR NORTH AMERICAN GREEN, USE STAPLE PATTERN "B". SEE CHART BELOW.
- INSTALLATION:
1. SELECT THE TYPE AND WEIGHT OF EROSION CONTROL BLANKET TO FIT THE SITE CONDITIONS (e.g. SLOPE, CHANNEL, FLOW VELOCITY).
 2. INSTALL ANY PRACTICES NEEDED TO CONTROL EROSION AND RUNOFF, SUCH AS TEMPORARY OR PERMANENT DIVERSION, SEDIMENT BASIN OR TRAP, SILT FENCE, AND/OR STRAW BALE DAM.
 3. GRADE THE SITE AS SPECIFIED IN THE CONSTRUCTION PLAN.
 4. ADD TOPSOIL WHERE APPROPRIATE.
 5. PREPARE THE SEEDBED, FERTILIZE (AND LIME IF NEEDED) AND SEED THE AREA IMMEDIATELY AFTER GRADING.
 6. FOLLOW MANUFACTURER'S DIRECTIONS AND LAY THE BLANKETS ON THE SEEDBED AREA SUCH THAT THEY ARE IN CONTINUOUS CONTACT WITH THE SOIL AND THAT THE UPSLOPE OR UPSLOPE ONS OVERLAP THE LOWER ONES BY AT LEAST 8 INCHES.
 7. TUCK THE UPPERMOST EDGE OF THE UPPER BLANKETS INTO A CHECK SLOT (SLIT TRENCH), BACKFILL WITH SOIL, AND TAMP DOWN.
 8. ANCHOR THE BLANKETS AS SPECIFIED BY THE MANUFACTURER.
- MAINTENANCE:
1. DURING VEGETATIVE ESTABLISHMENT, INSPECT AFTER STORM EVENTS FOR ANY EROSION BELOW THE BLANKET.
 2. IF ANY AREA SHOWS EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING IT. ADD SOIL, RE-SEED THE AREA, AND RE-LAY AND STAPLE THE BLANKET.
 3. AFTER VEGETATIVE ESTABLISHMENT, CHECK THE TREATED AREA PERIODICALLY.



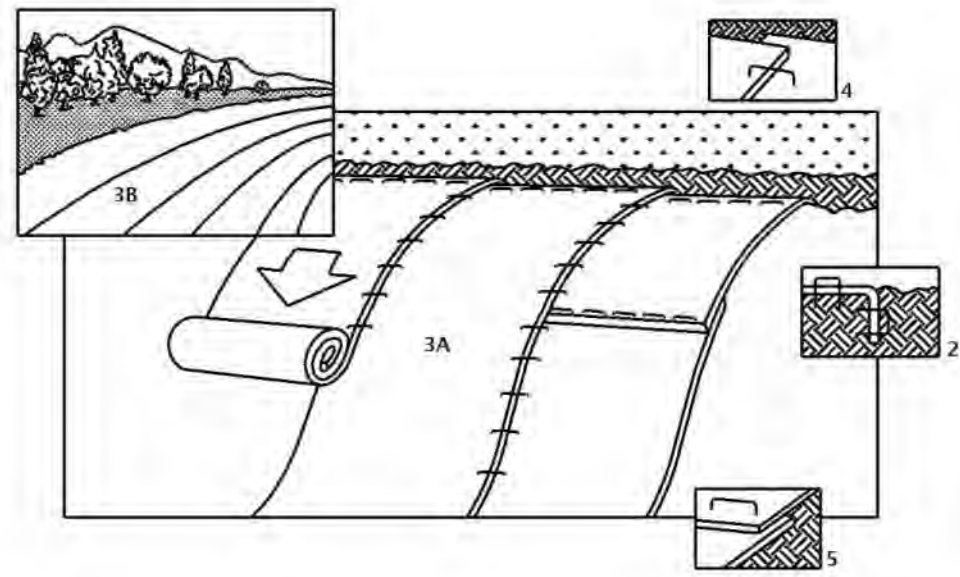
EROSION CONTROL BLANKET (CHANNEL APPLICATION)

- DETAIL SOURCE: NORTH AMERICAN GREEN
- NOTE: HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE. REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE RECOMMENDATIONS FOR CHANNELS.



EROSION CONTROL BLANKET (SIDE SLOPE APPLICATION)

DETAIL SOURCE: NORTH AMERICAN GREEN



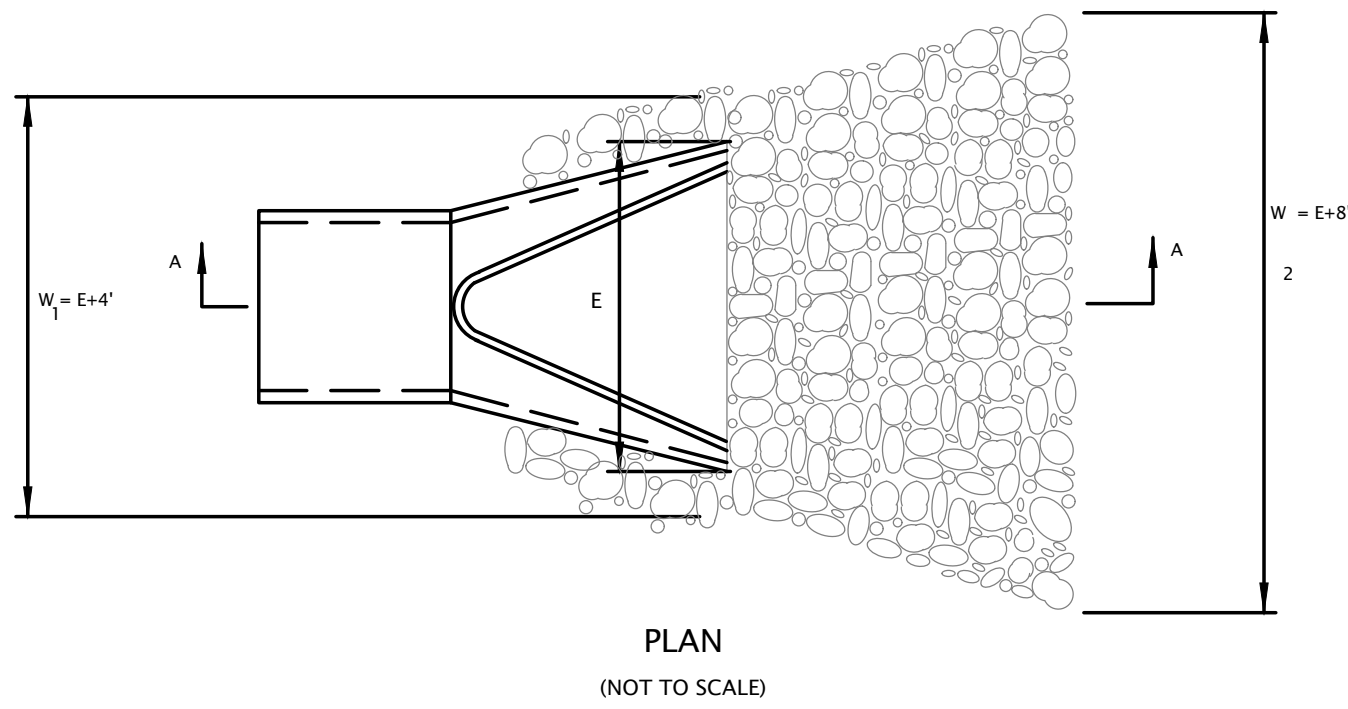
- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE RECOMMENDATIONS FOR CHANNELS.
- DIRECTIONS:
1. PREPARE SOIL BEFORE INSTALLING BLANKETS INCLUDING APPLICATION OF LIME, FERTILIZER AND SEED. WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET 6-INCH DEEP BY 6-INCH WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE BLANKETS DOWN OR HORIZONTALLY ACROSS THE SLOPE.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH AN APPROXIMATELY 2-INCH OVERLAP.
 5. WHEN BLANKETS MUST BE SPliced DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH AN APPROXIMATELY 4-INCH OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12 INCHES APART.

RIP RAP AT PIPE OUTLET

- MATERIAL: HARD, ANGULAR AND WEATHER-RESISTANT, HAVING A SPECIFIC GRAVITY OF AT LEAST 2.5
- GRADATION: WELL-GRADED STONE, 50% (BY WEIGHT) LARGER THAN THE SPECIFIED #50; HOWEVER, THE LARGEST PIECES SHOULD NOT EXCEED TWO TIMES THE SPECIFIED #50 AND NO MORE THAN 15% OF THE PIECES (BY WEIGHT) SHOULD BE LESS THAN 3 INCHES.
- FILTER: USE GEOTEXTILE FABRIC FOR STABILIZATION AND FILTRATION OR SAND/GRAVEL LAYER PLACED UNDER ALL PERMANENT RIP RAP INSTALLATIONS.
- SLOPE: 2:1 OR FLATTER, UNLESS APPROVED IN THE EROSION AND SEDIMENT CONTROL PLAN.

- SUBGRADE PREPARATION
1. REMOVE BRUSH, TREES, STUMPS AND OTHER DEBRIS.
 2. EXCAVATE ONLY DEEP ENOUGH FOR BOTH FILTER AND RIP RAP. OVER-EXCAVATION INCREASES THE AMOUNT OF SPOIL CONSIDERABLY.
 3. COMPACT ANY FILL MATERIAL TO THE DENSITY OF THE SURROUNDING UNDISTURBED SOIL.
 4. SMOOTH THE GRADED FOUNDATION.
- FILTER PLACEMENT
1. IF USING GEOTEXTILE FABRIC, PLACE IT ON THE SMOOTHED FOUNDATION, OVERLAP THE EDGES AT LEAST 12 INCHES AND SECURE WITH ANCHOR PINS SPACED EVERY 3 FEET ALONG THE OVERLAP.
 2. IF USING A SAND/GRAVEL FILTER, SPREAD THE WELL-GRADED AGGREGATE IN A UNIFORM LAYER TO THE REQUIRED THICKNESS (6 INCHES MINIMUM); IF TWO OR MORE LAYERS ARE SPECIFIED, PLACE THE LAYER OF SMALLER GRADATION FIRST AND AVOID MIXING THE LAYERS.

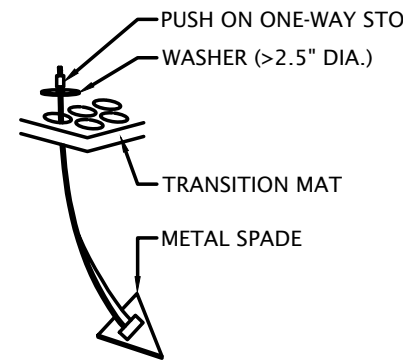
- RIP RAP PLACEMENT
1. IMMEDIATELY AFTER INSTALLING THE FILTER, ADD THE RIP RAP TO FULL THICKNESS IN ONE OPERATION. DO NOT DUMP THROUGH CHUTES OR USE ANY METHOD THAT CAUSES SEGREGATION OF ROCK SIZES OR THAT WILL DISLODGE OR DAMAGE THE UNDERLYING FILTER MATERIAL.
 2. IF FABRIC IS DAMAGED, REMOVE THE RIP RAP AND REPAIR BY ADDING ANOTHER LAYER OF FABRIC, OVERLAPPING THE DAMAGED AREA BY 12 INCHES.
 3. PLACE SMALLER ROCK IN VOIDS TO FORM A DENSE, UNIFORM AND WELL-GRADED MASS. SELECTIVE LOADING AT THE QUARRY AND SOME HAND PLACEMENT MAY BE NEEDED TO ENSURE AN EVEN DISTRIBUTION OF ROCK MATERIAL.
 4. BLEND THE ROCK SURFACE SMOOTHLY WITH THE SURROUNDING AREA TO ELIMINATE PROTRUSIONS OR OVER-FALLS.
- MAINTENANCE
1. INSPECT PERIODICALLY FOR DISPLACED ROCK MATERIAL, SLUMPING AND EROSION AT EDGES, ESPECIALLY DOWN-STREAM OR DOWN-SLOPE.



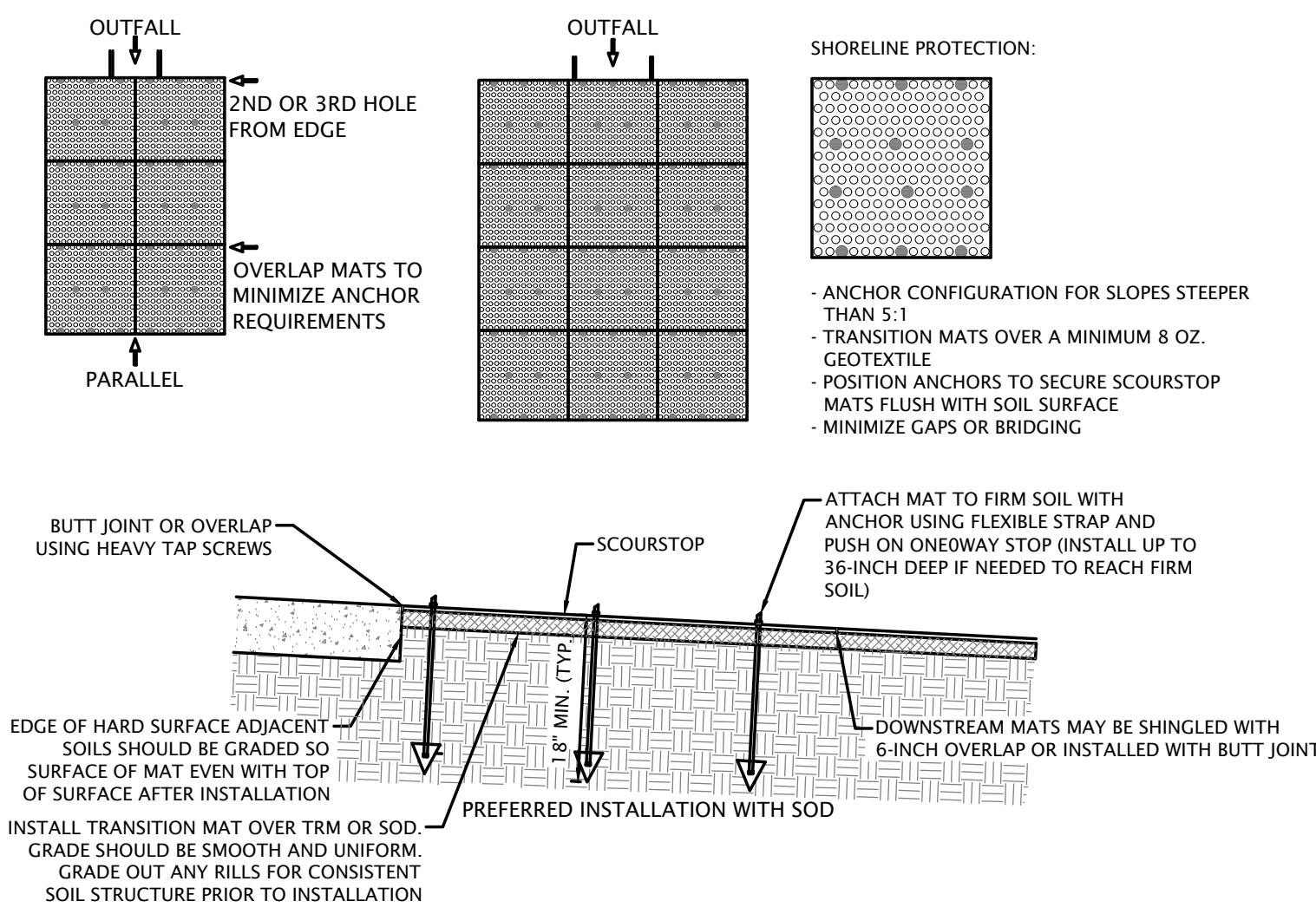
SCOURSTOP TRANSITION MAT FOR SCOUR PROTECTION

MATERIAL: SCOUR STOP TRANSITION MATS
WH SHURTLEFF COMPANY
11 WALLACE AVENUE
SOUTH PORTLAND, ME 04106
(800) 663-6149
WWW.WHSHURTLEFF.COM

PIPE DIAMETER	DISCHARGE (CFS)	SCOURSTOP WIDTH/LENGTH
12"	8	4' x 4'
24"	30	4' x 8'
36"	90	8' x 12'
48"	100	12' x 16'
60"	150	12' x 20'
72"+		SEE DETAILS

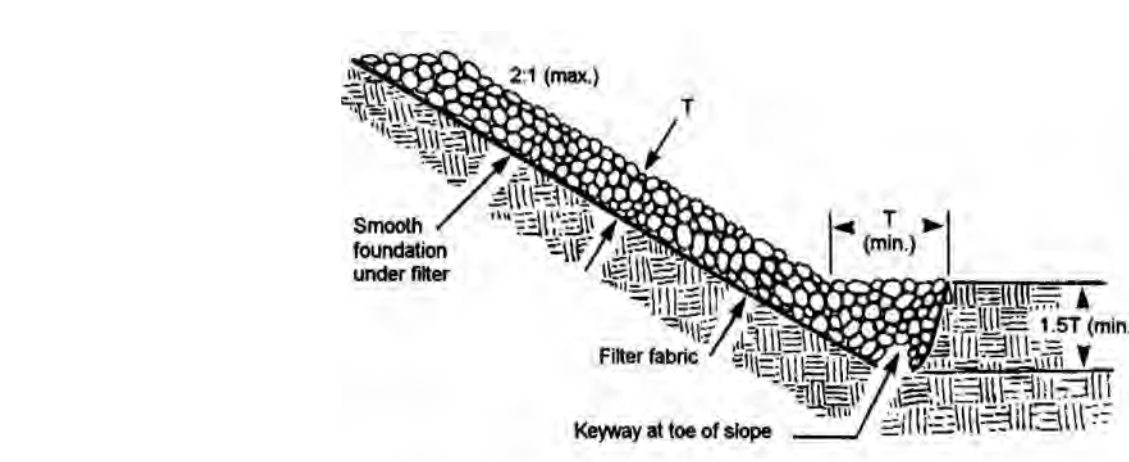


- ANCHOR REQUIREMENTS:
- FIRST ROW OF SCOURSTOP MATS
SECTION ROW OF SCOURSTOP MATS
- MINIMUM OF 8 ANCHORS
MINIMUM OF 5 ANCHORS
- * TO ENSURE CONSISTENT CONTACT WITH THE SOIL, EXCEED THE MINIMUM ANCHOR REQUIREMENT AT INSTALLATION OR IMPROVE SOIL SURFACE SMOOTHNESS



RIP-RAP FOR SCOUR PROTECTION

- MATERIAL: HARD, ANGULAR AND WEATHER-RESISTANT, HAVING A SPECIFIC GRAVITY OF AT LEAST 2.5
- GRADATION: WELL-GRADED STONE, 50% (BY WEIGHT) LARGER THAN THE SPECIFIED #50; HOWEVER, THE LARGEST PIECES SHOULD NOT EXCEED TWO TIMES THE SPECIFIED #50 AND NO MORE THAN 15% OF THE PIECES (BY WEIGHT) SHOULD BE LESS THAN 3 INCHES.
- FILTER: USE GEOTEXTILE FABRIC FOR STABILIZATION AND FILTRATION OR SAND/GRAVEL LAYER PLACED UNDER ALL PERMANENT RIP RAP INSTALLATIONS.
- SLOPE: 2:1 OR FLATTER, UNLESS APPROVED IN THE EROSION AND SEDIMENT CONTROL PLAN.
- MINIMUM THICKNESS: TWO TIMES THE SPECIFIED #50 STONE DIAMETER.
- SUBGRADE PREPARATION
1. REMOVE BRUSH, TREES, STUMPS AND OTHER DEBRIS.
 2. EXCAVATE ONLY DEEP ENOUGH FOR BOTH FILTER AND RIP RAP. OVER-EXCAVATION INCREASES THE AMOUNT OF SPOIL CONSIDERABLY.
 3. COMPACT ANY FILL MATERIAL TO THE DENSITY OF THE SURROUNDING UNDISTURBED SOIL.
 4. CUT KEYWAY IN STABLE MATERIAL AT THE BASE OF THE SLOPE TO REINFORCE TOE. KEYWAY DEPTH SHOULD BE 1.5 TIMES THE DESIGN THICKNESS OF THE RIP RAP AND SHOULD EXTEND A HORIZONTAL DISTANCE EQUAL TO THE DESIGN THICKNESS.
 5. SMOOTH THE GRADED FOUNDATION



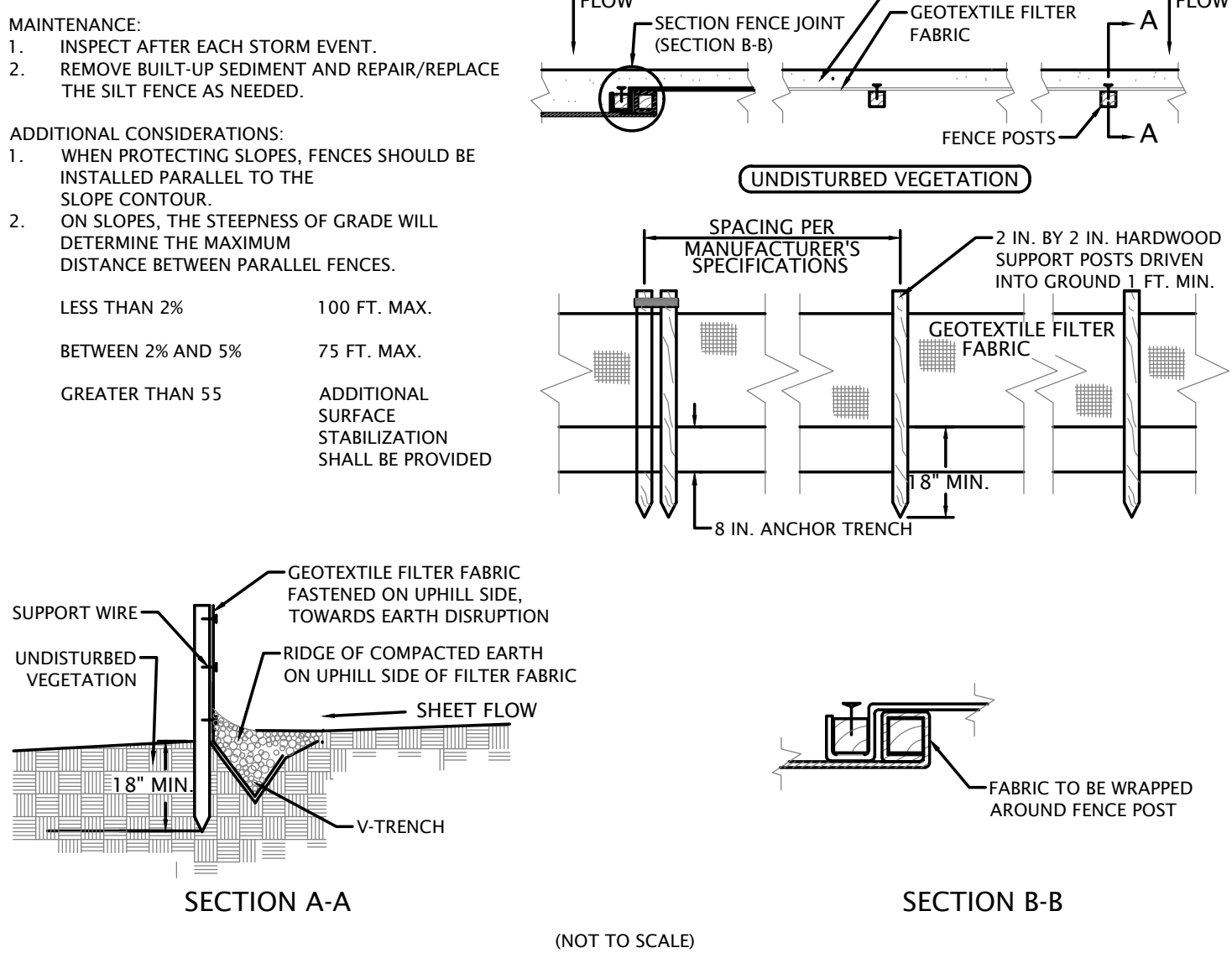
- FILTER PLACEMENT
1. IF USING GEOTEXTILE FABRIC, PLACE IT ON THE SMOOTHED FOUNDATION, OVERLAP THE EDGES AT LEAST 12 INCHES AND SECURE WITH ANCHOR PINS SPACED EVERY 3 FEET ALONG THE OVERLAP.
 2. IF USING A SAND/GRAVEL FILTER, SPREAD THE WELL-GRADED AGGREGATE IN A UNIFORM LAYER TO THE REQUIRED THICKNESS (6 INCHES MINIMUM); IF TWO OR MORE LAYERS ARE SPECIFIED, PLACE THE LAYER OF SMALLER GRADATION FIRST AND AVOID MIXING THE LAYERS.

- RIP RAP PLACEMENT
1. IMMEDIATELY AFTER INSTALLING THE FILTER, ADD THE RIP RAP TO FULL THICKNESS IN ONE OPERATION. DO NOT DUMP THROUGH CHUTES OR USE ANY METHOD THAT CAUSES SEGREGATION OF ROCK SIZES OR THAT WILL DISLODGE OR DAMAGE THE UNDERLYING FILTER MATERIAL.
 2. IF FABRIC IS DAMAGED, REMOVE THE RIP RAP AND REPAIR BY ADDING ANOTHER LAYER OF FABRIC, OVERLAPPING THE DAMAGED AREA BY 12 INCHES.
 3. PLACE SMALLER ROCK IN VOIDS TO FORM A DENSE, UNIFORM AND WELL-GRADED MASS. SELECTIVE LOADING AT THE QUARRY AND SOME HAND PLACEMENT MAY BE NEEDED TO ENSURE AN EVEN DISTRIBUTION OF ROCK MATERIAL.
 4. BLEND THE ROCK SURFACE SMOOTHLY WITH THE SURROUNDING AREA TO ELIMINATE PROTRUSIONS OR OVER-FALLS.

- MAINTENANCE
1. INSPECT PERIODICALLY FOR DISPLACED ROCK MATERIAL, SLUMPING AND EROSION AT EDGES, ESPECIALLY DOWN-STREAM OR DOWN-SLOPE.

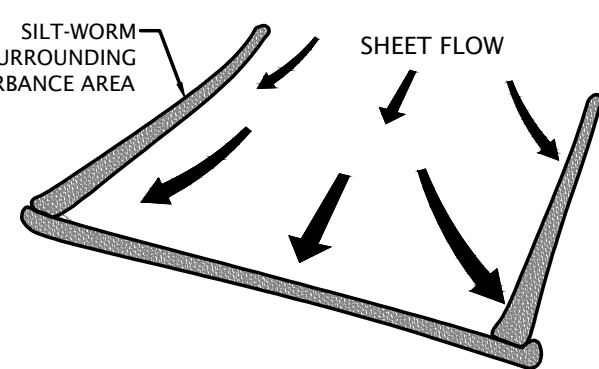
SILT FENCE

- APPROACH: POOL AREA FLAT (LESS THAN 1% SLOPE), WITH SEDIMENT STORAGE OF 945 CU FT./ACRE DISTURBED.
- MATERIALS: ECONOMY BLUE STRIPE SILT FENCE WITH POSTS, MANUFACTURED BY MIDWEST CONSTRUCTION PRODUCTS AT (800) 532-2381 OR APPROVED EQUAL.
- ANCHORING: 2 INCH BY 2 INCH HARDWOOD STAKES WITH A LENGTH EQUAL TO THE HEIGHT OF THE SILT FENCE PLUS 1 FOOT.
- INSTALLATION:
1. DRIVE STAKES 1 FT. (MINIMUM) INTO GROUND AND ATTACH FABRIC TO STAKES WITH STAPLER.
 2. BOTTOM OF FABRIC SHALL BE PLACED UNDER 6 INCHES COMPACTED SOIL TO PREVENT SEDIMENT FLOW UNDERNEATH THE FENCE.
 3. ENSURE THAT ALL SUPPORTING POSTS ARE ON THE DOWN SLOPE SIDE OF THE FENCING.

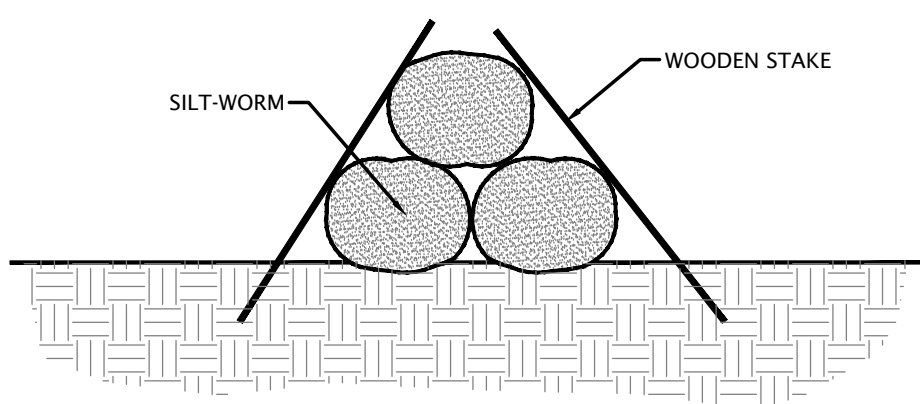


SILT-WORM

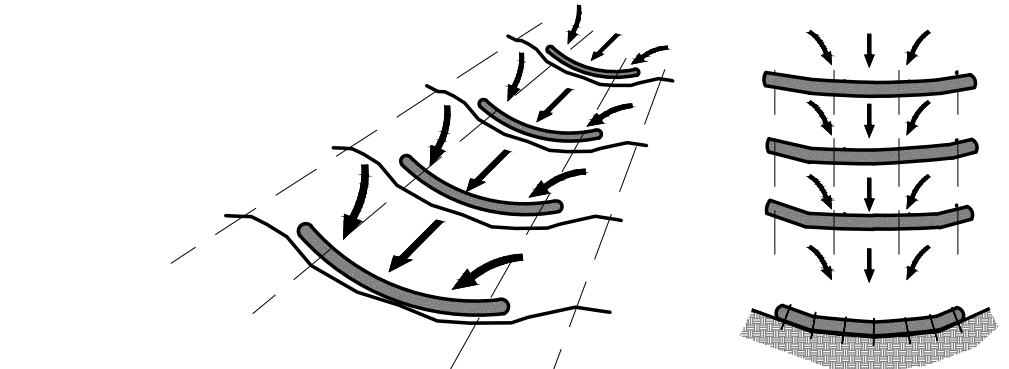
- MATERIAL: SILT-WORM OR APPROVED EQUAL
- DIAMETER: 9 INCHES MINIMUM
- PERIMETER CONTROL
- INSTALLATION:
1. PLACE SILT-WORM DIRECTLY ON TOP OF GRADE FOR GRADES UNDER 12%.
 2. ARRANGE PERIMETER CONTROL IN A MANNER THAT IS APPLIED PERPENDICULAR TO SHEET FLOW.
 3. OVERLAP CONTIGUOUS SECTIONS OF SILT-WORM AT A MINIMUM OF 6 INCHES.



- STACKING
- INSTALLATION:
1. PLACE SILT-WORM DIRECTLY ON TOP OF GRADE FOR GRADES UNDER 12%.
 2. STACK THE SILT-WORM IN A STAGGERED MANNER, AS SHOWN BELOW.
 3. OVERLAP CONTIGUOUS SECTIONS OF SILT-WORM AT A MINIMUM OF 6 INCHES.



- SLOPE INTERRUPTION / DITCH CHECK
- INSTALLATION:
1. PLACE SILT-WORM PERPENDICULAR TO SHEET FLOW AND CURL ENDS UP TOWARD TOP OF SLOPE.
 2. STAKE THE SILT-WORM EVERY 4 FEET AND OVERLAP THE ENDS BETWEEN 1 AND 2 FEET.
 3. PLACE A LINE OF DEFENSE AT THE TOP OF THE SLOPE AND ANOTHER WITHIN 10 FEET FROM TOE OF SLOPE.



SLOPE	SPACING FOR SLOPE APPLICATION			
	9-inch	12-inch	18-inch	24-inch
2% or less	70 ft.	80 ft.	N/A	N/A
5%	30 ft.	60 ft.	80 ft.	N/A
10%	20 ft.	30 ft.	70 ft.	80 ft.
6:1	N/A	20 ft.	40 ft.	55 ft.
4:1	N/A	20 ft.	30 ft.	30 ft.
3:1	N/A	N/A	20 ft.	25 ft.
2:1	N/A	N/A	20 ft.	20 ft.

- SILT-WORM MAINTENANCE GUIDELINES
- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY 7 CALENDAR DAYS.
 - IF SILT-WORM TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.
 - NOTE: ALL REPAIRS SHOULD MEET SPECIFICATIONS AS OUTLINED WITHIN THIS MEASURE.
 - REMOVE DEPOSITED SEDIMENT WHEN IT IS CAUSING THE SILT-WORM TO BULGE OR WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT-WORM AT ITS LOWEST POINT. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE SILT-WORM AND SEDIMENT DEPOSITS, GRADE THE SITE TO BLEND WITH THE SURROUNDING AREA, AND STABILIZE.

MULCHING

SOIL ROUGHENING

TOPSOIL (SALVAGE AND UTILIZATION)

TEMPORARY SEEDING

PERMANENT SEEDING

RUNOFF CONTROL MEASURES

RIP-RAP CHECK DAMS



GEORIDGE DITCH BERM - CHECK DAMS

SEDIMENT CONTROL MEASURES

POLYMER SYSTEMS

FIBER ROLLS

SEDIMENT BASINS/DETENTION PONDS

DEWATERING BAGS

INLET PROTECTION

SWPPP
DETAILS



**NIPSCO New Paris Local Operations Center
Elkhart County, IN
New Paris, IN**

DPUD Project Report

~~May 30, 2025~~
June 27, 2025

Prepared for:

NIPSCO
801 E. 86th Avenue
Merrillville, IN 46410

Prepared by:

DVG Team, Inc.
1155 Troutwine Rd.
Crown Point, IN 46307

DVG TEAM INC.

Civil Engineering ■ Surveying ■ Site Development Consulting



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- 7.0 Storm Water
- 8.0 Environmental Assessments

Exhibits

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- 2. Location Map
- 3. Site Location Aerial
- 4. FEMA FIRM Map
- 5. NRCS Soil Maps
- 6. NIPSCO Hourly Access Report

1.0 Project Description and Overview

The purpose of this project is to develop the proposed site into a regional service location, also known as a Local Operating Area (LOA), for the Northern Indiana Public Service Company (NIPSCO). NIPSCO provides gas and electric utility services to the surrounding communities. To support this service, a centrally located field office with access to major thoroughfares is necessary to facilitate a timely and efficient response.

The LOA will accommodate a maximum of 200 employees who will begin their workday at the main office building. Approximately 50% of these employees will remain on-site in office engineering, technical services, or support roles, while the other half will deploy to various worksites to conduct repairs or installations for either the electrical or gas service divisions.

This site was chosen for its proximity to the existing service location, which is on a landlocked parcel and no longer sufficient to meet the growing needs of the community. The new site is slightly farther south, providing improved accessibility to Kosciusko County and convenient access to State Road 15, a major regional thoroughfare.

2.0 Project Development Details

The site spans approximately 50 acres on the west side of SR 15, between C.R. 142 and C.R. 121 (29). It is currently an agricultural field but has been master-planned for business zoning. The north side of the site will include a gated employee parking lot, a main office building, and an attached warehouse.

Various service vehicles will be located on-site, ranging from small SUVs to large trucks with high-reach booms, as well as trailers and equipment. Some vehicles will be housed in heated garages; most will be staged outside. Outdoor-staged vehicles will include features like block heaters to ensure readiness during emergency events. Initially, vehicle storage barns of approximately 56,000 square feet will be constructed, with capacity for future expansion as service needs grow. The site can support up to 150,000 square feet of detached indoor storage.

The site has been designed to accommodate the safe maneuvering of service and delivery vehicles. Traffic flow is carefully planned to prevent overlap between the electric and gas divisions, particularly near loading zones. Behind the main building and garages lies the yard area, which includes outdoor storage for materials staged on concrete pads or in

temporary areas. Materials such as pipes, wire spools, transformers, poles, stone, and sand—used in permanent installations—will be stored outdoors. Bulk deliveries will be processed on-site, generating the need for dumpsters and waste containment areas. A large pole storage area will be included, capable of handling poles from 30 to 100 feet in length.

The project will be built as a single phase, with construction slated to commence January 2026, with a completion/operational date of September 2027. There are future buildings and uses outlined in this document that are for purposes of zoning approval. The required building permits and approvals will be sought for those improvements when they become actual.

Fleet Garage and South Yard

A fleet service building will be constructed on the south side of the site, featuring a fleet garage and onsite mechanics to maintain the extensive vehicle fleet. Parking areas around the garage will accommodate staff and serve as a daily staging area. This area will not typically house long-term inoperable vehicles. This building will also serve as a substation maintenance office. Substation maintenance is a separate workflow from the customer service line installation and maintenance. A future area is planned around the fleet garage for additional expansion of the facility staff and for temporary contractor use.

Access to the Site

Employee access to the site will be through the existing Fernbrook Road to the south. The platted cul-de-sac which has not yet been constructed will be constructed, and a private driveway with a gated entrance will extend north into the site. This location for access provides a safe location for staff to gain keycard access to the site, while not impacting on the higher traffic volume roadways of CR142 and SR15. The cul-de-sac provides for a safe turn around location for those mistakenly attempting to access the site. The service vehicles will have ingress and egress access to the site at the SW corner of the site along CR 142. This entrance will also be gated further into the site, so that vehicle stacking will be located on the entrance drive. The project will provide traffic improvements along CR 142 as the traffic study recommends. A traffic study is being prepared to demonstrate the warrants of any proposed improvements. Included in Exhibit 5 is an hourly access study which demonstrates that at peak the hourly access of service vehicles in or out of the site is 12.22. This report also demonstrates the employee peak access to be during morning

arrival times at 17.64 vehicles. These are relatively minor traffic volumes, and we anticipate pavement widening particularly to provide a dedicated right turn lane into the service vehicle driveway. It is our understanding from various conversations with INDOT that access along SR15 is discouraged primarily due to the higher posted speed.

The site plan provides for two emergency access locations on to CR 121 on the north side. These entrances will be gated closed and are provided for emergency and public safety access to the site.

Parking / Outdoor Storage

Employee parking will be located in front of the main office building. A dedicated driveway will provide access to the parking lot from the Fernbrook entrance. The proposed parking lot will provide approximately 165 employee parking spaces. This parking lot and the site storm water system are designed to be expanded to 250 parking spaces. The parking lot is an asphalt paved parking lot with a minimum of 1.00% surface grades, and a storm sewer system. The parking lot is located 50' from the right of way dedication of SR15. The parking lot is fenced and gated for security. A three- to four-foot-high berm is proposed between SR15, and buffer yards are provided around the perimeter of the site.

Service Vehicle parking will be provided in asphalt paved parking areas around the main office building. The parking areas are designed to accommodate the various numbers and types of vehicles as required by NIPSCO.

Outdoor Storage / Trailer Parking will be in various locations on the site. These will be gravel surfaces with storm drainage structures and storm sewers.

A minimum of a 25' property line setback has been provided for all parking and outdoor storage areas. The residential parcel surrounded by this parcel will have screening berms placed between the parcel and the proposed uses at the site. To the west this berm is proposed to be a minimum of 9ft in height. All outdoor areas of the site will include lighting, as occasionally during service outages, the restoration effort extends throughout the day and night. The site lighting will be dark-sky compliant fixtures, a photometric plan will be provided demonstrating that there is less than 0.5 lumen light trespass at the property lines, exclusive of the berms providing light cutoff. The fixtures will be controlled LED fixtures, and shields provided as required by the photometric plan. All areas of the site will be monitored by CCTV.

Proposed parking spaces exceed the required 9'x20' (10'x20' for employee vehicles) and 14'x30' for service vehicles. All drive aisles are a minimum of 25'.

Signage

A proposed monument sign is located along CR142 at the intersection of Fernbrook Road and CR141. There will be a sign mounted on the front face of the main office building. There will be signage both designating the property at the south employee and service vehicle entrances. There will be various warning and wayfinding signage surrounding and within the site.

Employee parking will be located in front of the main office building. A dedicated driveway will provide access to the parking lot from the Fernbrook entrance.

Additional Site Features (Future)

1. Communication Infrastructure:

NIPSCO uses secure communication systems, including towers. Due to proximity to the airport, tower height will be limited and subject to FAA approval. Up to five towers may be installed.

2. Alternative Energy Integration:

The site may include solar panels (up to 50,000 square feet), either ground- or building-mounted. Wind or other emerging technologies may be tested on-site for demonstration purposes. Battery storage systems may also be included.

3. Storm Response Staging:

In the event of a major regional storm, the site will serve as a central staging area for emergency response. Equipment and staffing levels may temporarily increase, and the site will support overflow parking, storage trailers, and conex boxes until service is restored.

4. Other NIPSCO Operations:

Beyond maintenance, the site may support other NIPSCO operational activities such as substation management. Up to five additional structures, not exceeding 50,000 square feet each, may be constructed for these functions.

3.0 Elkhart County Development Ordinance

The project is seeking a zone change to the DPUD classification in the Elkhart County Development Ordinance (ECDO), following an underlying zoning of B3, which provides for Utilities, Major uses as defined in the EDCO.

Setbacks - The building front yard setbacks of 55' for a nonresidential use from the centerline of a numbered county road and 120' for a state highway have been followed. The side and rear setbacks meet the ECDO.

Buffers - The parking areas conform to the 25' setback. A class 2 buffer is required between the adjacent R1 parcels. A class 1 buffer is required between the adjacent B1 parcel. There are no buffer yard requirements to the agricultural land to the west. The project proposes several buffer yard types. These are listed below and are shown graphically on sheet C108 of the plan set. Any deviations are listed in 4.0 Deviations.

A 6' tall security fence will be installed around the perimeter of the site. Sightlines thru and along the fence must be maintained. The fence will be located a minimum of 10' from the property line and a 10' clear zone will be located on both sides of the fence line. There will not be any plantings other than turf grass in this clear zone. The security fence is not included in consideration of the required buffers.

West Line – There are no buffer required along the agricultural land. A 20ft enhanced field border strip will be placed along the west line, prior to the 20' fence clear zone.

North Line - Class 2, Type B 15' Buffer Zone with 3 trees and 9 shrubs per 100ft, with an opaque fence. The entire 1000LF of frontage will be used to calculate the tree and shrub requirements, these plantings will be clustered at the NE corner of the site as shown on sheet C108. There will not be any opaque material added to the fence.

East line – There are no buffers required along S.R.15. The fence clear zone will be outside the S.R. 15 ROW. Inside the fence clear zone there will be a landscape berm. On the S.R.15 frontage along the area of the Office/Warehouse Building and related accessory buildings, the area will be planted with turf grass. The frontage along the Fleet Building will be planted partially with enhanced field border plantings and will include trees on the berm that is lower than 3 feet in height.

Adjacent Residential (Chupp)

South Line (adjacent to the special exception business use structure) – The 20' fence clear zone will be a part of the 25' buffer zone. The required Class 2, Type A buffer zone trees and shrubs will be planted interior of the fence line as shown on sheet C108.

East Line - The 20' fence clear zone will be a part of the provided 75' buffer zone. The required Class 2, Type A buffer zone trees and shrubs will be replaced with a berm with a height of 9ft planted with native plantings.

North Line (adjacent to the residential structure) – The 20' fence clear zone will be a part of the provided 60' buffer zone. The required Class 2, Type A buffer zone trees and will be planted interior of the fence line on top of the 6ft average height berm as shown on sheet C108.

South line – Class 1, Type A buffer required adjacent to B1 zoning. The 20' fence clear zone will be part of the provided 25' buffer zone. The required Class 1, Type A buffer zone trees will be planted interior of the fence in a clustered configuration. The detention pond adjacent to the 25' buffer yard will be planted with natural plantings.

South line – Class 2, Type A buffer required adjacent to Residential zoning. The 20' fence clear zone will be part of the provided 25' buffer zone. The required Class 2, Type A buffer zone trees will be planted interior of the fence in a clustered configuration. The detention pond adjacent to the 25' buffer yard will be planted with natural plantings.

Building Height – the proposed buildings do not exceed 60'.

Lot coverage - does not exceed 75%

Site acreage = 2,105,379sf = 48.32ac

NW Pond = 1.29ac

NE Pond = 0.20ac

East Pond = 0.18ac

SW Pond = 1.47ac

SE Pond = 0.49ac

Lot Area = 44.69ac

Office/Warehouse = 51,200sf = 1.18ac

Gas Barn = 20,000sf = 0.46ac

Electric Barn = 6,000sf = 0.83ac

Fleet =	42,000sf	=	0.96ac
Future Structures max	=250,000sf	=	<u>5.74ac</u>
Total		=	9.17ac

Lot Coverage = $9.17 / 44.69 = 20.5\%$

4.0 Deviations

Buffers – A 6’ tall security fence will be installed around the perimeter of the site. Sightlines thru and along the fence must be maintained. The fence will be located a minimum of 10’ from the property line and a 10’ clear zone will be located on both sides of the fence line. There will not be any plantings other than turf grass in this clear zone.

All trees and shrubs required for all buffer zones will be planted inside the security fence, and may be placed interior to the site along the buffer yard, outside the limits of the buffer zone area.

In buffer zones that require an opaque fence, the security fence will not include any opaque screening material.

In buffer zones where a 9ft high berm is provided, the tree and shrub requirements are omitted.

In buffer zones where there is a detention pond adjacent to the buffer zone, the pond will be planted in native plantings and the shrub requirements are omitted.

Building Height

The office/warehouse building maximum height shall be 40’

The fleet building maximum height shall be 60’

The maximum height of all other accessory buildings shall be 35’

5.0 Water and Sewer Systems

The project will be connected to the New Paris Conservancy District for Sanitary Sewer service. DVG has been in contact with JPR, the New Paris Conservancy District Consulting Engineer regarding sewer service availability and the recommended connection point. The project proposes a private lift station, which will include backup power.

The project will be constructing a private well for potable water, as there is no public water system available in this area. Due to the size of the system, it is likely to be classified as a Non-Transient Non-Community Public Well by IDEM. IDEM water has been onsite to

evaluate the well site location. Upon commencement of the project the owner will complete the New Well Site Survey and begin the process of establishing NIPSCO as the well system operator.

6.0 Traffic

DVG Team, Inc. is a prequalified design firm with the Indiana Department of Transportation to perform minor traffic studies in Indiana. DVG has conducted traffic counts in the area and has been in contact with INDOT regarding this project. The traffic impact analysis will follow shortly. Road improvements required by INDOT and the Elkhart County Highway Department will be included in this project.

7.0 Storm Water

The storm water detention system is being designed using the current Elkhart County Highway Stormwater design requirements. The rational method using the rainfall data points from the ordinance, the 10yr storm release rate was determined. The detention system will provide volume for the peak 100yr event, using a positive release at grade at the northwest corner of the site. A storm sewer system will be provided to convey storm water to the detention ponds. The site is very flat, having 8ft of grade difference from south to north. An exhibit has been included showing the proposed drainage areas and the storage requirements required and provided for each basin.

8.0 Community and Environmental Considerations

The site will operate 24/7/365. To minimize community impact, the property will be enclosed with a security fence and screened with landscape berms, trees and shrubs. Particular attention to these screening measures has been provided along residential adjoiners. Natural planting buffers will be placed along the west property line. Lighting will comply with dark-sky standards, and the photometric plan will ensure zero light trespass beyond property boundaries. The project is consistent with development anticipated along major throughfares such as SR15.

The proposed facility is consistent with other manufacturing and office facilities in the area. The project is likely to provide an economic benefit to the area with increased needs of employees for things such as fuel and food. NIPSCO serves the community with utility services and continues its commitment to the people they serve by being a good neighbor in the specific areas that their facilities are a part of.

Exhibit 1

Legal Description

PARCEL DESCRIPTION:

A PARCEL OF LAND BEING A PART OF THE FRACTIONAL NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 35 NORTH, RANGE 6 EAST, JACKSON TOWNSHIP, ELKHART COUNTY, INDIANA, SAID PARCEL DESCRIBED AS FOLLOWS: BEGINNING AT A HARRISON MONUMENT MARKING THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 32 MINUTES 02 SECONDS EAST, 1171.78 FEET ALONG THE EAST LINE OF SAID NORTHEAST QUARTER TO THE NORTH LINE OF LAND DESCRIBED TO DENNIS J. AND CAROL I. CHUPP RECORDED AS DOCUMENT NUMBER 2019-08621, ON MAY 7, 2019 IN THE OFFICE OF THE RECORDER OF SAID COUNTY; THENCE NORTH 89 DEGREES 05 MINUTES 04 SECONDS WEST, 431.40 FEET ALONG LAST SAID NORTH LINE TO THE NORTHWEST CORNER OF SAID CHUPP LAND; THENCE SOUTH 01 DEGREE 49 MINUTES 40 SECONDS WEST, 452.27 FEET ALONG THE WEST LINE OF SAID CHUPP LAND TO THE SOUTHWEST CORNER THEREOF; THENCE SOUTH 89 DEGREES 05 MINUTES 04 SECONDS EAST, 450.04 FEET ALONG THE SOUTH LINE OF SAID CHUPP LAND TO THE EAST LINE OF SAID NORTHEAST QUARTER; THENCE SOUTH 00 DEGREES 32 MINUTES 02 SECONDS EAST, 82.11 FEET ALONG LAST SAID EAST LINE; THENCE SOUTH 89 DEGREES 27 MINUTES 58 SECONDS WEST, 28.62 FEET TO THE WEST LINE OF STATE ROAD 15 AS DESCRIBED IN DOCUMENT NUMBER 1993-026835 RECORDED ON OCTOBER 14, 1993 IN SAID RECORDER'S OFFICE; THENCE ALONG LAST SAID WEST LINE OF STATE ROAD 15 THE FOLLOWING FIVE (5) COURSES AND DISTANCES:

- (1) SOUTH 10 DEGREES 44 MINUTES 11 SECONDS WEST, 50.99 FEET;
- (2) SOUTH 00 DEGREES 45 MINUTES 46 SECONDS WEST, 214.40 FEET;
- (3) SOUTH 06 DEGREES 36 MINUTES 52 SECONDS WEST, 176.22 FEET;
- (4) SOUTH 19 DEGREES 33 MINUTES 57 SECONDS WEST, 283.12 FEET;
- (5) SOUTH 29 DEGREES 45 MINUTES 00 SECONDS WEST, 42.07 FEET TO THE NORTHEAST CORNER OF LAND DESCRIBED TO CONSERVATIVE BUSINESS CONCEPTS, LLC RECORDED AS DOCUMENT NUMBER 2023-11374, ON JULY 13, 2023 IN SAID RECORDER'S OFFICE;

THENCE ALONG THE NORTH AND WEST LINES OF SAID CONSERVATIVE BUSINESS CONCEPTS, LLC LAND THE FOLLOWING THREE (3) COURSES AND DISTANCES:

- (1) NORTH 57 DEGREES 03 MINUTES 26 SECONDS WEST, 146.37 FEET,
- (2) NORTH 83 DEGREES 01 MINUTE 00 SECONDS WEST, 249.43 FEET
- (3) SOUTH 06 DEGREES 59 MINUTES 00 SECONDS WEST, 63.46 FEET TO THE NORTHWEST CORNER OF LOT 1 IN BROOKVIEW FARMS – PHASE ONE, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 30, PAGE 54, AS DOCUMENT NUMBER 2005-31825, ON OCTOBER 4, 2005 IN SAID RECORDER'S OFFICE;

THENCE ALONG THE NORTH AND WEST LINES OF SAID BROOKVIEW FARMS – PHASE ONE THE FOLLOWING FIVE (5) COURSES AND DISTANCES:

- (1) NORTH 83 DEGREES 01 MINUTE 00 SECONDS WEST, 50.03 FEET TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 1025.00 FEET, AND A CHORD THAT BEARS SOUTH 04 DEGREES 12 MINUTES 11 SECONDS WEST, 169.30 FEET;
- (2) SOUTHERLY ALONG LAST SAID CURVE 169.49 FEET;
- (3) SOUTH 00 DEGREES 32 MINUTES 03 SECONDS EAST, 59.96 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 35.00 FEET, AND A CHORD THAT BEARS SOUTH 44 DEGREES 14 MINUTES 02 SECONDS WEST, 49.30 FEET;
- (4) SOUTHWESTERLY ALONG LAST SAID CURVE 54.69 FEET;

(5) SOUTH 89 DEGREES 00 MINUTES 08 SECONDS WEST, 100.00 FEET;
THENCE SOUTH 00 DEGREES 59 MINUTES 52 SECONDS EAST, 40.00 FEET TO THE SOUTH LINE OF
SAID NORTHEAST QUARTER; THENCE SOUTH 89 DEGREES 00 MINUTES 08 SECONDS WEST,
224.13 FEET ALONG LAST SAID SOUTH LINE TO THE WEST LINE OF LAND DESCRIBED TO
FERNBROOK, LLC RECORDED AS DOCUMENT NUMBER 2007-18401, ON JULY 5, 2007 IN SAID
RECORDER'S OFFICE; THENCE NORTH 00 DEGREES 33 MINUTES 43 SECONDS WEST, 2707.73 FEET
ALONG LAST SAID WEST LINE TO THE NORTH LINE OF SAID NORTHEAST QUARTER; THENCE
SOUTH 89 DEGREES 54 MINUTES 29 SECONDS EAST, 956.90 FEET ALONG LAST SAID NORTH LINE
TO THE POINT OF BEGINNING, CONTAINING 50.73 ACRES MORE OR LESS.

Exhibit 2

Location Map



Parcels

This data layer is maintained by the Elkhart County Auditor and represents legally recorded parcels in Elkhart County.

This layer is a collaboration between 4 different addressing jurisdictions. The layer is updated daily through a single data source provided by the Elkhart County Planning & Development Department.

For addressing data discrepancies please use the following emails based on jurisdiction:

City of Elkhart: Geographic Information Systems Technician, Gio Alvarez, Gio.Alvarez@coei.org

City of Goshen: Planning & Zoning Administrator, Rhonda Yoder, rhondayoder@goshencity.com

City of Nappanee: City Planner, Todd Nunemaker, tnunemaker@nappanee.org

Town of Bristol, Town of Middlebury, Town of Millersburg, Town of Wakarusa & Elkhart County unincorporated areas: Addressing Technician, Jocelyn Malmstrom, jmalmstrom@elkhartcounty.com

This data layer is maintained by Elkhart County Planning & Development and represents public and privately named roads in Elkhart County.

This data layer is maintained by the Elkhart County Auditor and represents the boundary of Elkhart County.

Date created: 5/28/2025

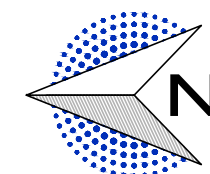
Last Data Uploaded: 5/28/2025 8:08:15 AM

Developed by



Exhibit 3

Site Location Aerial Photograph



1155 Troutwine Road
Crown Point, IN 46307
P: (219) 662-7710
F: (219) 662-2740
www.dvgteam.com

EXISTING CONDITIONS

PRELIMINARY
- NOT FOR
CONSTRUCTION

**NISOURCE - NEW OPERATIONS CENTER -
NEW PARIS, IN**

NISOURCE
CLIENT PROJECT NUMBER: 2172203022
NEW PARIS, INDIANA



219,476.1400

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

DATE OF SURVEY

1. TOPOGRAPHIC SURVEY COMPLETED 04/2025.

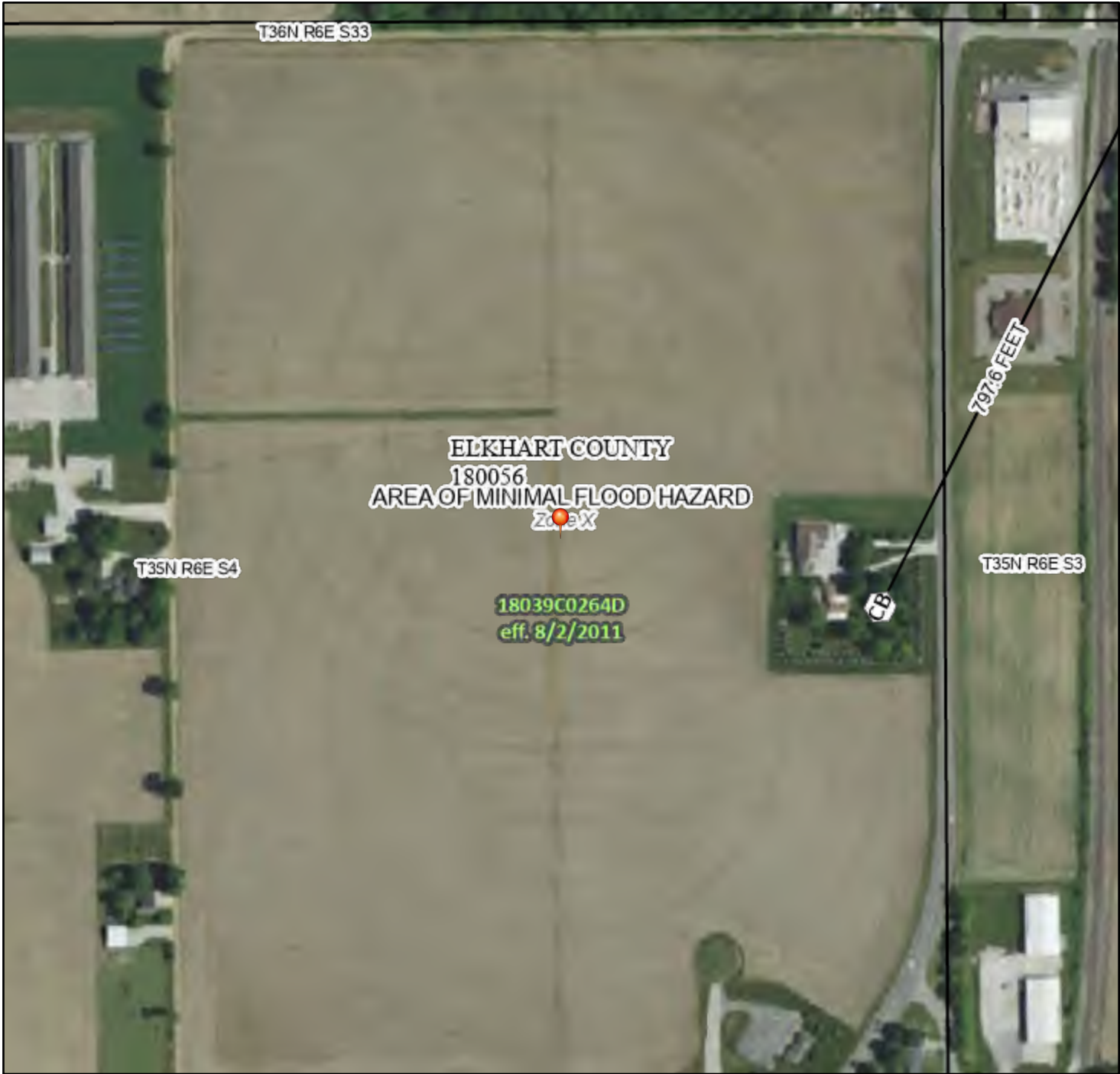
Exhibit 4

FEMA FIRM Map

National Flood Hazard Layer FIRMMette



85°50'14"W 41°31'22"N



1:6,000

85°49'37"W 41°30'55"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

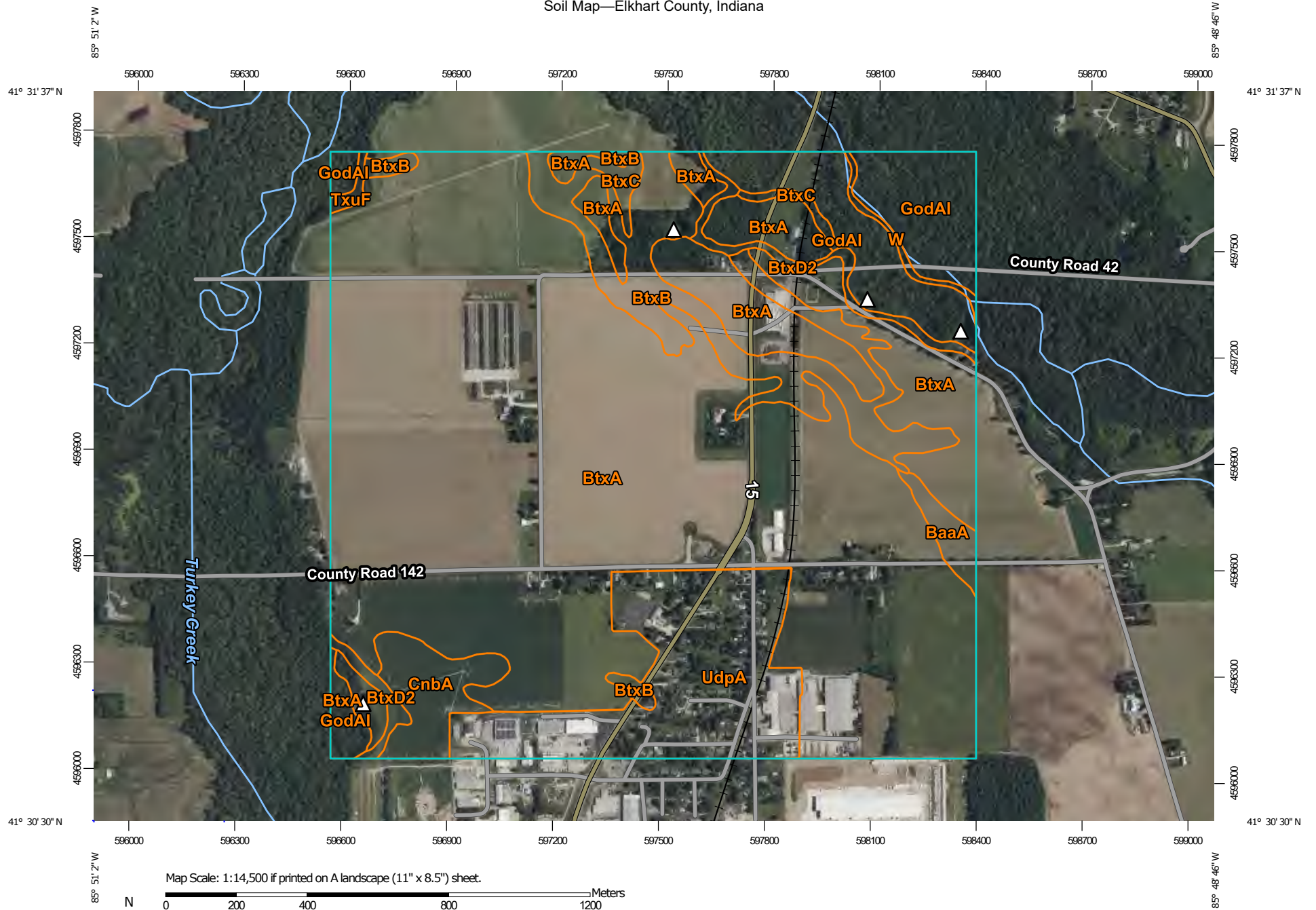
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/28/2025 at 5:08 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Exhibit 5

NRCS Soil Maps

Soil Map—Elkhart County, Indiana



**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

5/28/2025
Page 1 of 3

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Elkhart County, Indiana

Survey Area Data: Version 27, Aug 28, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 16, 2022—Jun 21, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BaaA	Bainter sandy loam, 0 to 1 percent slopes	6.2	0.8%
BtxA	Bristol loamy sand, 0 to 2 percent slopes	536.4	69.0%
BtxB	Bristol loamy sand, 2 to 5 percent slopes	58.5	7.5%
BtxC	Bristol loamy sand, 5 to 10 percent slopes	5.5	0.7%
BtxD2	Bristol loamy sand, 10 to 18 percent slopes, eroded	10.3	1.3%
CnbA	Coloma sand, 0 to 2 percent slopes	18.9	2.4%
GodAl	Gravelton loam, 0 to 1 percent slopes, frequently flooded, long duration	61.3	7.9%
TxuF	Tyner loamy sand, 18 to 45 percent slopes	1.5	0.2%
UdpA	Urban land-Bristol complex, 0 to 1 percent slopes	76.3	9.8%
W	Water	2.4	0.3%
Totals for Area of Interest		777.2	100.0%



Exhibit 6

NIPSCO Hourly Access Report

2024 GATE ENTRY DATA Average

Arrival at the site	E Gate TOTAL	W Gate Total	Rear Gate TOTAL	TOTAL AVG TRAFFIC
5-6am	1.78	2.12	3.76	7.66
6-7am	5.59	6.85	5.2	17.64
7-8am	3.41	4.31	3.35	11.07
8-9am	1.83	4.14	2.61	8.58
10am - 12pm	4.6	3.26	4.36	12.22
Depart from the site at the end of the day				
12-1pm	3.08	2.74	2.67	8.49
1-2pm	3.73	2.49	2.99	9.21
2-3pm	3.97	2.29	2.74	9
3-4pm	1.91	1.32	2.88	6.11
4-5pm	1.73	1.23	1.98	4.94
5-6pm	1.55	1.07	1.47	4.09
6-7pm	1.67	1.43	1.45	4.55
7-12am	3.9	1.49	2.22	7.61



TO: Plan Commission

SUB: Approvals of Plan Commission Recommendations

1. Petitioner: Woodside Investments LLC represented by Land & Boundary LLC
 Petition: for an amendment to an existing DPUD A-1 known as SCHROCK FURNITURE DPUD to add an additional warehouse.

 Location: southwest corner of CR 37 & CR 34, common address of 63041 CR 37 in Clinton Township. (DPUD-0003-2025)
2. Petitioner: Mid-States Specialty Eggs of Middlebury LLC represented by Abonmarche Consultants
 Petition: for an amendment to an existing DPUD A-1 known as MSSE MIDDLEBURY CR 20 MID-STATES DPUD to add property and amend the site plan, for a zone map change from A-4 & M-1 to DPUD A-1 and for primary approval of a 1-lot minor subdivision to be known as MSSE MIDDLEBURY CR 20 MID-STATES DPUD A-1 AMENDMENT.

 Location: north side of CR 20, 2,000 ft. east of CR 35, common address of 13659 CR 20 in Middlebury Township. (DPUD-0293-2025)
3. Petitioner: Tri County Land Trustee Corporation (Land Contract Holder) & John A. Miller and Sue Miller, Husband and Wife (Land Contract Purchaser)
 represented by Surveying and Mapping, LLC
 Petition: for a zone map change from A-1 to DPUD M-1 and for primary approval of a 1-lot minor subdivision to be known as MID RIVER SALES DPUD M-1.

 Location: south side of CR 18, 2,050 ft. west of East County Line Road, common address of 10348 CR 18 in Middlebury Township. (DPUD-0275-2025)