

October 9, 2025
9:30A.M.

Location: north side of CR 22, 2,380 ft. west of CR 37, common address of 13487 CR
22 in Middlebury Township. (DPUD-0511-2025)

PUBLIC MEETING ITEMS *(time of review at the discretion of the Plan Commission)*

STAFF/BOARD ITEMS *(time of review at the discretion of the Plan Commission)*

- *Board of County Commissioners Approvals Following Plan Commission Recommendations.*
- *2026 Planning Calendar.*

ADJOURNMENT

Phil Barker – County Surveyor: no term

Steven Edwards – Appointed by Commissioners: term 1/1/23 – 12/31/26

Steve Warner - Appointed by Commissioners: term 1/1/23 – 12/31/26

Lori Snyder - Appointed by Commissioners: term 1/1/25 – 12/31/28

Steven Clark – County Council Liaison: no term

Brad Rogers – County Commissioners Liaison: no term

Brian Dickerson – Appointed by Commissioners: term 1/1/22 – 12/31/25

Roger Miller – Appointed by Commissioners: term 1/1/25 – 12/31/28

Dan Carlson – Ag Agent: no term

PLAN MINUTES
ELKHART COUNTY PLAN COMMISSION MEETING
HELD ON THE 14TH DAY OF AUGUST 2025 AT 9:30 A.M. IN THE
MEETING ROOM OF THE PUBLIC SERVICE BUILDING 4320 ELKHART RD.,
GOSHEN, INDIANA

1. The regular meeting of the Elkhart County Plan Commission was called to order by the Chairman, Lori Snyder. The following staff members were present: Mae Kratzer, Plan Director; Jason Auvil, Planning Manager; Danny Dean, Planner; Laura Gilbert, Administrative Manager; and Don Shuler, Attorney for the Board.

Roll Call.

Present: Philip Barker, Steve Warner, Lori Snyder, Steve Clark, Brad Rogers, Brian Dickerson, Dan Carlson.

Absent: Steven Edwards, Roger Miller.

2. A motion was made and seconded (*Barker/Clark*) that the minutes of the last regular meeting of the Elkhart County Plan Commission, held on the 10th day of July 2025, be approved as submitted. The motion was carried with a unanimous vote.

3. A motion was made and seconded (*Clark/Rogers*) that the Elkhart County Zoning Ordinance and Elkhart County Subdivision Control Ordinance be accepted as evidence for today's hearings. The motion was carried with a unanimous vote.

*****It should be noted Mr. Warner recused himself and stepped down.*****

4. The application for primary approval of a 6-lot major subdivision to be known as ROCK POINTE SECOND, for Warner Farms represented by Innovative Communities, Inc., on property located on the east side of CR 29, 2,140 ft. north of CR 34, in Elkhart Township, zoned A-1, was presented at this time.

Danny Dean presented the Staff Report/Staff Analysis, which is attached for review as *Case #MA-0351-2025*.

Mr. Dean submitted a letter from Bill Hartsuff, Environmental Health, expressing his concerns about drainage issues nearby the proposed subdivision[*Attached to file as Staff Exhibit #1*].

Mr. Clark questioned the variance for no road frontage, since there is a road coming into the subdivision. Mr. Dean stated that the road does not count due to it being a private road. Mrs. Snyder asked if this subdivision has the same developer as the five surrounding lots. Mr. Dean explained that it is the same developer for all five lots. Mr. Rogers asked if the road will become a county road in the future. Mr. Dean further explained that currently the road is not being constructed to highway standards and significant investment would need to be made to convert it to be dedicated to the county. Mr. Rogers asked if the owners of the property know that the road will not be maintained by the county. Mr. Dean expressed that he would prefer the developer or the representative answer that question.

Tim Saylor, Innovative Communities, Inc., 697 Bungalow Dr., Nappanee, was present representing the petitioner. He described that they are proposing six large estate lots on a total of thirty-six-acre farm site. He further addressed the drainage issues, extending from CR 29 down to

Hoover Creek Ditch. Mr. Saylor mentioned that the issue raised by Mr. Hartsuff is off the subject property entirely. He indicated there is a natural drainage swale to the east of the property with effluent discharge. He explained Mr. Warner has agreed to extend the tile and is committed to help resolve the issues that exist off site. Mr. Saylor stated Mr. Warner did not create this effluent discharge drainage issue. He went on to explain details regarding the private drive. He indicated there have been many discussions with Katie Niblock with Highway on the subject private drive vs. a public road. He noted it will be explained to new owners that this property is served by a private drive and exist in an easement. Mr. Rogers expressed concerns due to issues with other private driveways in the county. He stated that years down the road, the Commissioners are then expected to fix the issues with the private drive, whether that be a drainage issue or a plowing. He explained the land owners won't be able to come to the county for help with the private driveway when there are issues. Lori Snyder asked if the private drive would be declared on all the title work. Mr. Saylor stated absolutely. She asked the average acreage per lot. Mr. Saylor stated the lots average 6 acres per lot.

Jaxon Beck, 130 N. Main St., Goshen, was present representing the petitioner. He stated the plan to address the easements is to have two separate maintenance agreements. He explained that the first maintenance agreement will be for the drainage structures that are currently in place. He went on to say there will be a separate maintenance agreement for the private driveway states that the county will not maintain it. Mr. Beck mentioned that those documents should be a part of the purchase agreement with the developer/landowner. Mr. Barker stated that the drainage easement agreement should not just include lots 1-3. Mr. Beck stated that all the lots are included for the maintenance of the structures for the drainage, as well as the private driveway. He mentioned in the tech review that there were questions about the origin of the drainage tile and the maintenance obligations. He stated he reviewed the title work, and it was addressed in the first subdivision plat for Rock Point with a county drainage maintenance dedication statement. He went on to say it stated all the owners in the subdivision are required to maintain the structures of the easement. He stated the tile that goes through Rock Point II is also in the plat for Rock Point I. He further explained that Rock Point I would also be proportionately responsible for the maintenance of those drainage structures. He stated that this may not apply to any new drainage structures that would be part of Rock Point II. Mr. Rogers mentioned one of the concerns is that there is sewage effluent. Mr. Beck stated that it is discharging from the north, and he is unsure where exactly it is coming from. Mr. Barker explained that there was an easement along the back of Rock Point I. He stated it was coming from one of those lots. He stated the southeast corner lot is a mess. He mentioned all this should be addressed and shared by all the lots equally. Mr. Barker explained that all the runoff is going into a county-regulated ditch. Mr. Rogers asked if we want effluent in the ditch. Mr. Barker stated no. Mr. Rogers stated he is not inclined to approve a subdivision when raw sewage is coming through this property. He went on to say that it may not be Mr. Warner's issue, but it is coming to the property, and a source needs to be identified. Mr. Barker stated he isn't familiar with the conditions on the ground or where the effluent is coming from. He stated there is only so much Warner Farms can do. He further stated that they own the property that is being approved today, and the other lots have been sold. He stated they can modify the existing tile and how it relocates and the location is off-site and it runs through the properties. Mr. Baker asked how the issue can be addressed when it is not on the piece of land being discussed today. Mr. Barker stated he talked with Bill, and he thinks it can be remedied. He stressed it will have to be a group effort to move forward. Mr. Clark asked how the Board can punish this homeowner for something that is caused off-site. Mr. Baker stated this property is all downhill, that

is why it needs to be identified where the discharge is coming from.

Chris Shetler, 62518 CR 29, Goshen, was present in remonstrance. He stated he purchased his house in 2023. He mentioned the Health Department has known about this problem for at least 15 years, and has done next to nothing about it. He stated there is still raw sewage that comes from Triple S Farms on to his property. He stated he has been trying to work with Bill from the Health Department for the last two years, and nothing has happened. Mr. Clark asked how this affects the new project. Mr. Shetler demonstrated on the map how the water flows through the property. Mr. Shetler stated there is no stopping the flow of the sewage to the ditch. Mr. Clark asked if development of the subject property would make it worse. Mr. Shetler stated he is uncertain; he simply stated there is an issue that isn't being taken care of. Mr. Clark state he does not want to punish someone, if it isn't their problem. Mr. Rogers indicated there was a residence to the north that could be the source. He asked where the effluent is coming from. Mr. Barker stated that this is something the Health Department should be dealing with, because this is an illicit discharge. Mr. Shetler stated there are houses to the north that are connected to septic tanks and to the drain tile, and that was done over 15 years ago.

A motion was made and seconded (*Rogers/Clark*) that the public hearing be closed, and the motion was carried with a unanimous vote.

Mr. Saylor stated for the sake of clarification there is an off-site septic issue not related to phase one of Rock Point. He explained it is with a different landowner, who was not involved with these land developments. He stated it is an old tile that is discharging septic effluent onto Mr. Shetler's property. Mr. Saylor explained that this is something the Health Department needs to resolve, which is upstream and independent of this project. He indicated where the drainage was coming from on the aerial. He mentioned Mr. Warner placed a tile on his property, and there is no drainage issue on the subject property. He stated again Mr. Warner has no power to deal with the septic issues that are further to the north. He further stated the land owner to the south is being held hostage due to the neighbor's issues to the north, that the Health Department has been unable to resolve. Mrs. Snyder stated that the Board is here for land use. Mr. Clark mentioned Mr. Shetler has a valid point, but they are two different issues. Mr. Barker stated the next step would be for the Health Department to determine where the illicit discharge is coming from.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Steve Clark, **Seconded by** Brian Dickerson that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for primary approval of a 6-lot major subdivision to be known as ROCK POINTE SECOND be approved in accordance with the Staff Analysis.

Vote: Motion passed (**summary:** Yes = 6, No = 0, Abstain = 1).

Yes: Phil Barker, Lori Snyder, Steve Clark, Brad Rogers, Brian Dickerson, Dan Carlson.

Abstain: Steve Warner.

5. The application for a zone map change from A-1 to B-2, for Cesar Manuel Valdez on property located on the east side of US 33, 1,260 ft. north of CR 40, common address of 65764 US 33 in Elkhart Township, zoned A-1, was presented at this time.

Danny Dean presented the Staff Report/Staff Analysis, which is attached for review as *Case*

#RZ-0444-2025.

There was no petitioner present.

Lori Snyder asked if the property still looked like the aerial. Mr. Dean stated it has been cleaned up. Mr. Rogers asked if there had been any code enforcement issues. Mr. Dean stated he was unsure of any code enforcement issues, on the subject property.

There were no remonstrators present.

A motion was made and seconded (*Rogers/Clark*) that the public hearing be closed, and the motion was carried with a unanimous vote.

Mr. Rogers stated he is hesitant to approve something that they could not question the owners about.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Table, **Moved by** Brad Rogers, that this request for a zone map change from A-1 to B-2 be tabled until the September 11, 2025, Advisory Plan Commissioner Hearing due to the absence of the petitioner. **None seconded. Motion dies for lack of a second.**

Mr. Clark explained he was looking at the area, and there is a DPUD M-1, B-3, and residential. He further stated it looks like a good transition zone area. Mr. Rogers stated it backs up against residential, and that's what is concerning.

Motion: Action: Approve, **Moved by** Steve Clark, **Seconded by** Brian Dickerson that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for a zone map change from A-1 to B-2 be approved in accordance with the Staff Analysis.

Vote: Motion failed (**summary:** Yes = 2, No = 4, Abstain = 1).

Yes: Steve Clark, Brian Dickerson.

No: Phil Barker, Snyder, Brad Rogers, Dan Carlson.

Abstain: Steve Warner.

Motion: Action: Table, **Moved by** Steve Clark, **Seconded by** Brian Dickerson that this request for a zone map change from A-1 to B-2 be tabled until the September 11, 2025 Advisory Plan Commission Hearing due to the absence of the petitioner.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 7).

Yes: Phil Barker, Steve Warner, Lori Snyder, Steve Clark, Brad Rogers, Brian Dickerson, Dan Carlson.

****It should be noted that Mr. Warner returned to the Board at this time****

6. The application for a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as BROOKVIEW FARMS PHASE 1 DPUD B-3 AMENDMENT, for Conservative Business Concepts LLC, represented by Abonmarche Consultants, on property located on the northeast corner of Fernbrook Rd. & CR 142, west side of SR 15, common address of 67470 Fernbrook Rd. in Jackson Township, zoned DPUD B-3 & GPUD B-3, was presented at this time.

Jason Auvil presented the Staff Report/Staff Analysis, which is attached for review as *Case*

#DPUD-0445-2025.

Mr. Rogers asked if this request is associated with another petition to be presented today. Mr. Auvil stated it is adjacent to that property. He added they are two separate developments that just happened to be filed at the same time. Mr. Rogers asked if the dentist is expanding. Mr. Auvil stated that is correct.

Crystal Welsh, Abonmarche Consultants, 303 River Race Dr., Goshen, was present representing the petitioner. She stated this project is not related to the adjoining properties' development. She stated the dentist is doing well and wanted to expand to serve more clients. She further explained they are adding additional parking as well as buggy parking and a retention area.

Brad Hooley, explained he sold the land to Dr. Patterson and that the petitions coming to the same meeting were coincidental and unrelated.

There were no remonstrators present.

A motion was made and seconded (*Rogers/Clark*) that the public hearing be closed, and the motion was carried with a unanimous vote.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Brad Rogers, **Seconded by** Dan Carlson that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as BROOKVIEW FARMS PHASE 1 DPUD B-3 AMENDMENT be approved in accordance with the Staff Analysis.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 7).

Yes: Phil Barker, Steve Warner, Lori Snyder, Steve Clark, Brad Rogers, Brian Dickerson, Dan Carlson.

7. The application for a zone map change from A-1 to DPUD A-1 and for primary approval of an 8-lot major subdivision to be known as DOROSHENKO A-1 DPUD, for Igor Doroshenko & Nina Mamalat Doroshenko, Husband & Wife & Andriy Doroshenko & Katya Doroshenko, Husband & Wife represented by B. Doriot & Associates, Inc., on property located on the south side of CR 118, 1,700 ft. west of Old CR 17, in Concord Township, zoned A-1, was presented at this time.

Jason Auvil presented the Staff Report/Staff Analysis, which is attached for review as *Case #DPUD-0441-2025.*

Blake Doriot, B. Doriot & Associates, Inc., P.O. Box 465, New Paris, was present representing the petitioner. He stated this development is planned to have six duplex lots that would be owned by the petitioner. He further stated they are willing to put title restrictions to identify the road as a private drive that does not meet Highway standards. Mr. Doriot stated he encouraged the Doroshenkos to talk with their neighbors about the development. He described the retention areas in detail, and the infiltration rate is up to 20 inches per hour. He stated that the law no longer requires a reserve area for septic systems, but each duplex will have a primary septic system and room for a reserved septic area. Mr. Hartsuff, with the Health Department, has asked for additional boring samples explained Mr. Doriot. He presented housing stats and information regarding housing in the State of Indiana and in Elkhart County [*Attached to file as Petitioner Exhibit #1*]. He further stated that we are in an affordable housing crisis. Mrs. Snyder asked if this was for a family commune.

Katya Doroshenko, an inaudible address was given, Goshen, was present representing the petitioner. She stated her and her family walked around informing the neighboring properties what their plans were with the land [Attached to file as Petitioner Exhibit #2]. She mentioned that she and her family will be living on one of the two lots in the back, along with her parents on the other lot to the rear of the proposed subdivision. She explained that the plan was to rent out the duplexes.

****It should be noted Steve Clark left at this time.****

Jason Auvil presented emails in remonstrance for this project. He stated included is a petition that was signed by forty-five of the neighbors in the area. He stated the general concerns are for the increased traffic, wildlife conservation, noise, light pollution, the safety of children and grandchildren, and run-off/drainage issues. He went on to summarize the water table is a concern with the increased density in the area. He went on to say it was mentioned that if this petition gets passed, there could be a buffer (privacy fence) around the existing parcels [Attached to file as Staff Exhibit #1].

Amanda Huber, 22512 CR 118, Elkhart, was present on behalf of Lola Gunderman, 22538 CR 118, Elkhart. She stated Mrs. Gunderman's family is the one that owned the property previously. She further stated they have paperwork that shows that the frontage of the property, instead of being 129.76 ft. is actually only 106 ft. She stated she would like this petition to be tabled until the measurements are resolved with the family trust and the County Surveyors. Lori Snyder mentioned perhaps Mr. Barker could answer that.

A motion was made and seconded (*Dickerson/Rogers*) that the public hearing be closed, and the motion was carried with a unanimous vote.

Mr. Dickerson stated in terms of traffic, there is a church directly to the east that has significant traffic flow on CR 115, along with Old CR 17. He also mentioned the conservation of wildlife would be more in the wooded parcels than in an open field. He explained this is a perfect fit for the area.

Mr. Doriot addressed Mrs. Gunderman's question regarding the road frontage. He stated he did a lot of research and that is the number he came up with. He went on to say that before the secondary is filed, he will find out if there are any differences. He expressed that if there was a difference, he would amend the plat to show that. Mr. Doriot repeated that if there was a mistake made on his part, he will gladly make sure it is corrected. He discussed that a privacy fence in an A-1 zone doesn't make much sense. He explained the owner would like to have trees planted for privacy. Mr. Doriot stated the traffic study has been approved, and they have to do a type six entrance. He went on to say it did not meet the requirements for a passing blister, and the site distance was good. He stated drainage has been discussed in the drainage plan. He mentioned there are local irrigation wells that are pumping a thousand gallons per minute, but these homes will come no where close to five minutes a day of that. Mr. Doriot stated in closing he believes Mrs. Doroshanko will be a good neighbor and the surrounding property owners will be surprised.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Brad Rogers, **Seconded by** Steve Warner that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for a zone map change from A-1 to DPUD A-1 and for primary approval of an 8-lot major subdivision to be known as DOROSHENKO A-1 DPUD be approved in accordance with the Staff Analysis.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 6).

Yes: Phil Barker, Steve Warner, Lori Snyder, Brad Rogers, Brian Dickerson, Dan Carlson.

Excused: Steve Clark.

8. The application for a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as NIPSCO NEW PARIS LOCAL OPERATIONS CENTER, for Fernbrook LLC represented by DVG Team, Inc., on property located on the northwest corner of Fernbrook Rd. & CR 142, west of SR 15, in Jackson Township, zoned GPUD B-3, was presented at this time.

Jason Auvil presented the Staff Report/Staff Analysis, which is attached for review as *Case #DPUD-0352-2025*.

Tonya Stanley, Senior Director of Real Estate Services, NIPSCO, 801 E. 86th Ave., Merryville, was present representing the petitioner. She explained they are looking to relocate the operation center that is currently located in Goshen. She stated this is due to an aging facility, the need for growth, and the proximity of customers. She expressed that the project aims to develop a local operating area for NIPSCO to enhance all gas and electric utility services with a centrally located facility designed for operational efficiency and community consideration. She mentioned the Local Operating Area will support up to 200 employees, split evenly between office and field deployment. She described the 50 acres site will house a main office building, warehouse, vehicle storage, fleet garage, and material storage. She stated the site was chosen for its proximity to existing service territories. She explained the benefits to the community, which will bring 150 employees to the area, increase the tax base, two years of construction jobs with supporting local businesses, and potential workforce living in the area.

Jack Halls, DVG, was present representing the petitioner. He stated this site is 50 acres on SR 15 in New Paris. He explained that the point of access was talked about in depth with INDOT. He went on to say INDOT discouraged using SR 15 as an access point. He noted that in 2027 INDOT will be installing a signal light at the corner of SR 15 and CR 142. He explained the construction of the site and traffic signal will be completed around the same time in 2027. He mentioned that CR 142 will see an increase in traffic, and a traffic impact study was done. He stated the impact is fairly small. He explained that employees will come throughout the morning and evening. He further explained the service trucks will leave throughout the day. He explained how the site will navigate it's own traffic and how each building will be placed on the site.

Mr. Warner asked if there have been any studies done concerning the electricity generation disturbing cell phone signal or health concerns. Mr. Hall stated this site will not be a power generating site; this is a site strictly for dispatching service vehicles/line maintenance facility. He stated NIPSCO's need is increasing to serve the local customers well.

Mr. Dickerson asked if INDOT is going through the intersection and expressed any concerns regarding line pole length on the trailer. Mr. Hall stated that is why they discouraged the driveway on SR 15. Mr. Dickerson asked the maximum vehicle length. Mr. Hall stated it varies.

Brad Hooley, 14385 CR22, Goshen, in support of this petition. He stated he represents Fernbrooke LLC and Brooke View Farms. He mentioned the reason this land has been for sale for so long is that the Brooken family has been very selective with whom they sell the property. Mr. Hooley stated this is a perfect fit for this location.

Dennis Chupp, 67267 SR 15, New Paris, was present in remonstrance to this petition. He mentioned they own the property in the middle of this project. He explained their home is located

there, along with their piano business. He explained his concerns are with the value of his property going down. He went on to state his concerns about traffic. He mentioned they have talked with the petitioner about reluctantly relocating. However, he stated there is a price that cannot be agreed upon at this point. He went on to state different concerns he had about this project, such as noise pollution, light pollution, and traffic concerns. Mr. Chupp explained the berms are an eyesore, when they are not maintained. He stated he is unsure who enforces that.

A motion was made and seconded (*Rogers/Dickerson*) that the public hearing be closed, and the motion was carried with a unanimous vote.

Mrs. Snyder stated she believes this area has been zoned B-3 for around twenty years.

Mr. Rogers stated that the Chupp's are well known, establishment in the New Paris area with high-end pianos. He stated they are willing to relocate if NIPSCO is willing to buy their property. Mrs. Stanley stated that the 50 acres is suitable for what they need. She went on to state that there have been several conversations with him. She explained that NIPSCO is a regulated utility company and that every dollar counts. She stressed every dollar spent does affect their shareholders and our customers. She stated the Chupp's were offered the fair market value of their property, and currently, their amounts are far apart. She went on to say they are still willing to have more conversations with them. Mrs. Stanley stated there has to be a median, which is not in their budget, especially with the dollar amount he is requesting. Mr. Rogers stated he will be for denial of this petition if there can not be some type of agreement on the value of the property. Mr. Dickerson expressed his concerns about negatively affecting the neighboring property's value. He stated his concerns were for the properties to the south of this development. He went on to state that NIPSCO is a 24-hour operation, and the traffic going in and out of this facility will have an impact on the neighbors. He mentioned he was surprised there were not more remonstrators to the south of the property. Mr. Dickerson suggested tabling this petition due to the dynamics of affecting residential property.

Mr. Hall pointed out on the site plan how accommodations were made for the properties on the south with the property lay out and buffers. Mr. Dickerson stated they did a wonderful job on the site plan. Mr. Hall also presented diagrams of what the future landscaping/screening would look like for Mr. Chupp. [*Attached to file as Petitioner Exhibit # 1*] He described how a security fence is needed for homeland security. He noted that an 8 ft. tall berm, further screening, and landscaping were provided to help with noise control. Mr. Hall stated this plan was presented to Mr. Chupp, and he indicated to them that he would prefer to have a white 6-foot-tall fence in addition to the landscaping. He stated they went back and revisited another option with a 2 ft. berm with a 6 ft. fence on top of the berm, making it an 8 ft. screening. He explained that this is not an insignificant offer. He went on to say this goes to show the petitioners' willingness to hear and to accommodate the neighbors. He further stated that these accommodations have had an impact on this site with berms that are 16 ft. -20 ft. on the other side of the fence, which will help with noise and the lights. He explained that all the light fixtures are dark sky-compliant and are strategically located on the poles along the property, so there could be outside shields to keep all the outcasts inside the perimeter. Mr. Hall stated that this property is sufficient for the use that it is zoned. He mentioned they have exceeded any screening requirements. He indicated that Mr. Chupp's property in 2019 was rezoned A-1, because of the use he had on his property. He stated that the zoning requirements from an A-1 to a B-1 are none. He explained that is why they have exceeded the buffer that is required and are losing about an acre of land with just berming. Mr. Hall continued to state that they have made an offer to buy Mr. Chupp's property that exceeded the market value. He asked what the Plan Commission needed to come to terms on the

value of that property. Mr. Dickerson stated that it is not his place to state the valuation of a property. He explained from a Plan Commission perspective, will the neighboring property able to be resold at the same value as it does today. He further explained that he believes this will have a negative impact on their property's value. He expressed that, based on all the screening, it may be cheaper to buy the house. Mr. Hall stated it is not cheaper. Mrs. Snyder stated that the property is currently worth the most it is going to be worth. She explained to the sellers as well that there has to be a middle ground and she would advise getting three appraisals. Mr. Rogers explained that is not the entire issue; Mr. Chupp also has an active business selling high-end pianos all over the world. He went on to say he would have to relocate, rebuild, and possibly buy another property. Mr. Hall explained he was struggling because the Board is talking about the property as if it is residential for the screening, but commercial, for its value. Mr. Rogers stated it's both. Mr. Rogers expressed that the Board is here to protect rights and to look at this as a big picture of land use. Mr. Dickerson stated he realizes there are heated discussions on both sides and wants them to be successful, but both parties need to find a middle ground.

Mr. Hooley came on the stand and empathized with Mr. Chupp's position, but stated that this is State Road 15 with the railroad, existing businesses, and farms. He went on to say that's why Nipsco coming to this location fits in with what is currently there. He agrees Nipsco should try to buy it, but it does not mean the land owner gets to punch a lottery ticket. Mrs. Snyder asked if Chupp's property used to be a B-3 and was rezoned to an A-1. Mr. Hooley stated he was unsure. Mr. Chupp stated the original zoning was A-1.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Table, **Moved by** Brian Dickerson, **Seconded by** Brad Rogers that this request for a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as NIPSCO NEW PARIS LOCAL OPERATIONS CENTER be tabled until the September 11, 2025 Advisory Plan Commission Hearing.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 6).

Yes: Phil Barker, Steve Warner, Lori Snyder, Brad Rogers, Brian Dickerson, Dan Carlson.

9. *Board of County Commissioners Approvals Following Plan Commission Recommendations*

Jason Auvil reported on the July 21, 2025 Elkhart County Commissioners meeting petition approvals.

10. Mae Kratzer presented TIF expansions for Middlebury East TIF Expansion and South Benton TIF Expansion. She stated Baker Tilley has provided studies of the impact of what is collected with and without the TIF expansions. She stated it goes down to ten times the amount of funds that are collected through a TIF expansion, which allows the TIF to then provide those funds to the Highway Department. She stated the staff recommendation is to approve the TIF expansions that will go before the council for approval as well.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Brian Dickerson, **Seconded by** Brad Rogers that the TIF expansions for Middlebury East TIF Expansion and South Benton TIF Expansion be approved.

11. A motion was made and seconded (*Dickerson/Rogers*) that the meeting be adjourned. The motion was carried with a unanimous vote, and the meeting was adjourned at 11:31 a.m.

Respectfully submitted,

Amber Weiss, Recording Secretary

Lori Snyder, Chairman

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Major Subdivision - Primary

Date: 09/02/2025

Meeting Date: October 09, 2025
Plan Commission Hearing (Subdivision)

Transaction #: MA-0565-2025

Description: for primary approval of 72-lot major subdivision to be known as INDIAN CREEK

Contacts: Developer

Triple I Enterprises Llc
1849 W. Lincoln Ave.
Goshen, IN 46526

Land Owner

Spartin Development Llc
69071 Turnwood Court
New Paris, IN 46553

Private Surveyor

Abonmarche Consultants
303 River Race Dr. Suite 206
Goshen, IN 46526

Site Address: 00000 County Road 23
Goshen, IN 46528

Parcel Number: 20-07-16-451-006.000-019

Township: Jefferson

Location: NORTHWEST CORNER OF CR 23 & CR 18

Subdivision:

Lot # 72

Lot Area:

Frontage:

Depth:

Zoning: A-1

NPO List:

Present Use of Property:

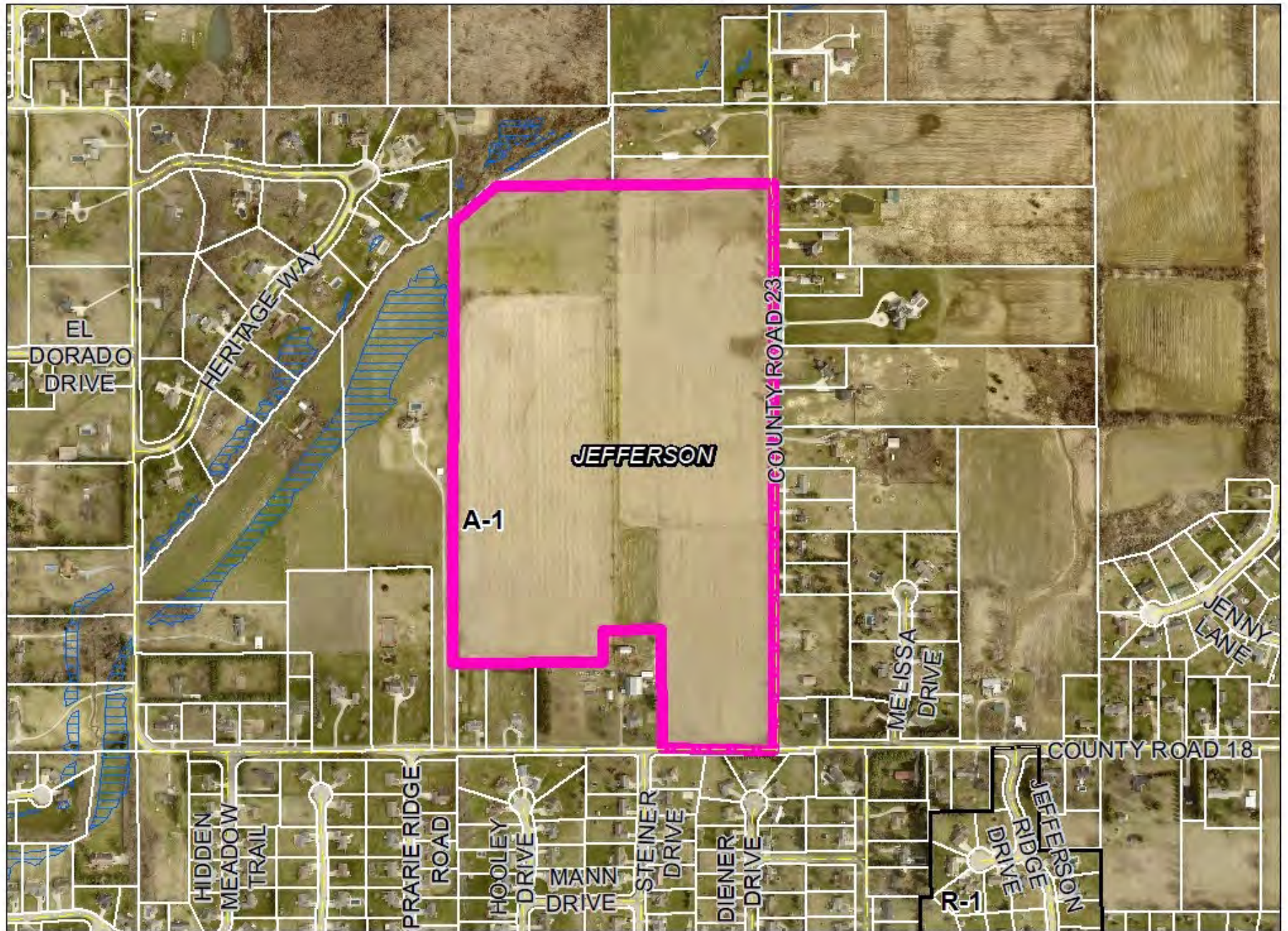
Legal Description:

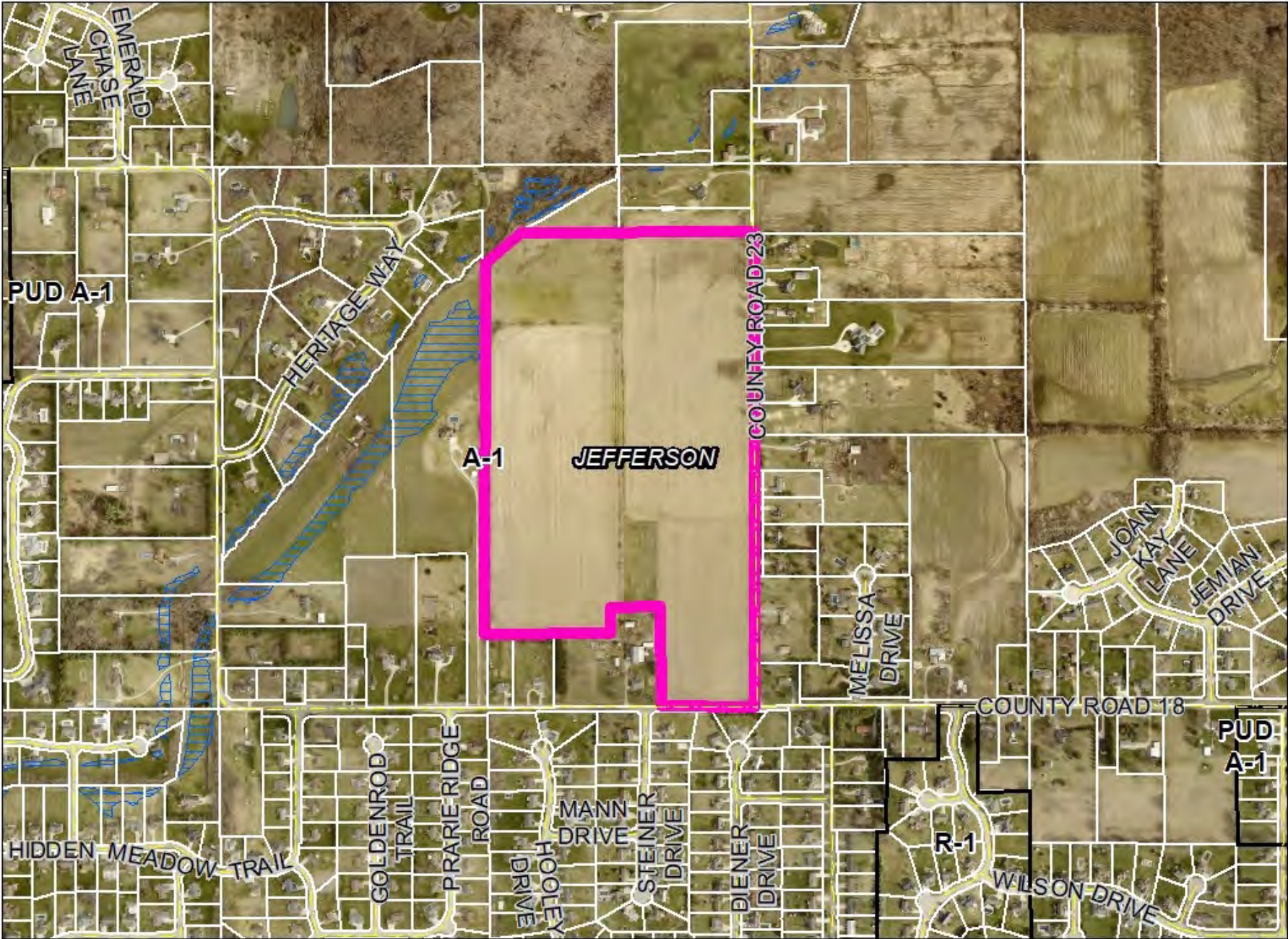
Comments:

Applicant Signature:

Department Signature:








BENCHMARKS		
No.	Description	Elevation
TBM "A"	RRSPK IN N. FACE OF POWER POLE #680-647 W. SIDE OF DRIVE ALONG CO. RD. 18	814.48'
TBM "B"	RRSPK IN NW FACE OF POWER POLE #661-347 @ NE CORNER OF CO. RD. 23 & CO. RD. 18	817.48'
TBM "C"	RRSPK IN W. FACE OF POWER POLE #694-299 N. OF DRIVE TO 57794 CO. RD. 23	824.57'
TBM "D"	GEAR SPIKE IN E. FACE OF POWER POLE #054-765 N. OF DRIVE TO 57578 CO. RD. 23	831.00'

UTILITY INFORMATION

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. FIELD SURVEY INFORMATION CONSISTING OF PAINT MARKINGS FOUND ON THE GROUND PER THE INDIANA UNDERGROUND PLANT PROTECTION SERVICE (UPPS - 811). THE PAINT MARKINGS SHOWN HEREON AS EVIDENCE OF PROBABLE UNDERGROUND UTILITY LOCATIONS AND ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS. THE USER OF THIS PLAT/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK. THE SURVEYOR MAKES NO GUARANTEES THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

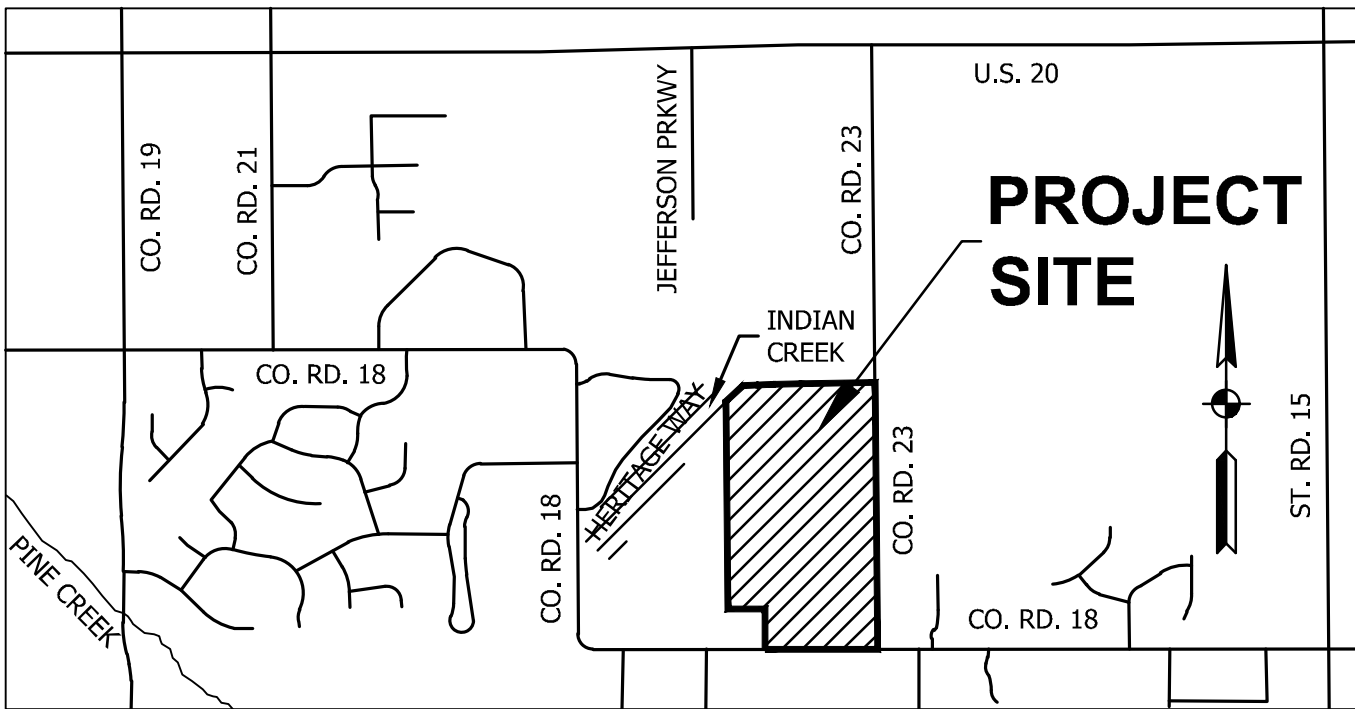


Know what's below.
Call before you dig.
CALL 811 OR 800.362.5544
24 HOURS A DAY, SEVEN DAYS A WEEK

PRIMARY PLAT

INDIAN CREEK

A PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH,
RANGE 6 EAST, JEFFERSON TOWNSHIP, ELKHART COUNTY, INDIANA
ADDRESS: VL, COUNTY ROAD 18, GOSHEN, IN 46526
TAX ID #: 20-07-16-451-006.000-019
(SEE SHEET 2 OF 3 FOR LEGAL DESCRIPTION; CURVE & LINE TABLES & LOT AREAS)



LOCATION MAP
(NOT TO SCALE)

TOTAL SUBDIVISION AREA	2,759.472 S.F.
63.35± ACRES	
AREA IN R/W	309,087 S.F.
7.10± ACRES	
AREA IN COMMON AREAS	255,403 S.F.
5.86± ACRES	
AREA IN LOTS	2,194,982 S.F.
50.39± ACRES	



TRIPLE I ENTERPRISES, LLC
INDIAN CREEK
MAJOR SUBDIVISION
VACANT LAND, COUNTY ROAD 18 AND COUNTY ROAD 23, GOSHEN, IN
PRIMARY PLAT



ISSUE DATE: 09.02.2025
PM: BEM QA/QC: CLB
FIELDBOOK: CLB16, PG. 40

1 ELK, CO. TECH COMMENTS 08.18.2025
ISSUANCE / REVISION DATE
ORIGINAL SHEET IS 24"X36" USE DIMENSIONS
SHOWN, DO NOT SCALE DRAWINGS.
PROJECT NO: 25-0775

O:\PROJECTS\2025\25-0775 CR 23 AND CR 18 MAJOR SUBDIVISION INDIAN CREEK\10 SURVEY\18 CAD\PLANS\25-0775 PRIMARY.DWG PG 2 TANYA MILLER 9.18.2025 3:19 PM

LEGAL DESCRIPTION

A PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 6 EAST, SECOND PRINCIPAL MERIDIAN, JEFFERSON TOWNSHIP, ELKHART COUNTY, INDIANA, (BASED ON A SURVEY PERFORMED IN JUNE OF 2025 BY CAMERON BERON, INDIANA PROFESSIONAL LAND SURVEYOR, LICENSE NUMBER 21900005, WITH ABONMARCHE CONSULTANTS, JOB NUMBER 25-0775) MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT AT THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 52 MINUTES 25 SECONDS WEST, ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER, 348.45 FEET TO THE NORTHWEST CORNER OF A PARCEL CONVEYED IN DEED RECORD 2013-14660, BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING NORTH 00 DEGREES 52 MINUTES 25 SECONDS WEST, ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER, 1834.54 FEET TO THE SOUTHERN MOST CORNER OF A PARCEL CONVEYED IN DEED RECORD 2009-16449; THENCE NORTH 47 DEGREES 13 MINUTES 15 SECONDS EAST, ALONG THE SOUTHEAST LINE OF SAID PARCEL (INSTR.# 2009-16449), 194.96 FEET TO THE SOUTHWEST CORNER OF A PARCEL CONVEYED IN DEED RECORD 2025-10909; THENCE NORTH 89 DEGREES 14 MINUTES 38 SECONDS EAST, ALONG THE SOUTH LINE OF SAID PARCEL (INSTR.# 2025-10909) ALSO THE SOUTH LINE OF A PARCEL CONVEYED IN DEED RECORD 2022-23409, 1184.42 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL (INSTR.# 2022-23409) AND BEING A POINT ON THE EAST LINE OF THE WEST HALF OF SAID SOUTHEAST QUARTER; THENCE SOUTH 00 DEGREES 44 MINUTES 39 SECONDS EAST, ALONG THE EAST LINE OF SAID WEST HALF, 2324.51 FEET TO THE SOUTHEAST CORNER OF SAID WEST HALF; THENCE SOUTH 89 DEGREES 43 MINUTES 12 SECONDS WEST, ALONG THE SOUTH LINE OF SAID WEST HALF, 475.42 FEET TO THE SOUTHEAST CORNER OF A PARCEL CONVEYED IN DEED RECORD 2025-09783; THENCE THE FOLLOWING FOUR COURSES ALONG SAID PARCEL (INSTR.# 2025-09783), THENCE NORTH 02 DEGREES 12 MINUTES 35 SECONDS WEST, 429.00 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES 12 SECONDS WEST, 186.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 55 SECONDS EAST, 84.00 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 07 SECONDS WEST, 323.71 FEET TO THE NORTHEAST CORNER OF A PARCEL CONVEYED IN DEED RECORD 2013-08106; THENCE NORTH 89 DEGREES 54 MINUTES 00 SECONDS WEST ALONG THE NORTH LINE OF SAID PARCEL (INSTR.#2013-08106) AND THE WESTERLY EXTENSION THEREOF, 327.99 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, CONTAINING 63.35 ACRES, MORE OR LESS, AND SUBJECT TO ALL COVENANTS, RIGHT-OF-WAY, AND EASEMENTS OF RECORD.

GENERAL NOTES

ZONING & PROPOSED LAND USE
ZONING FOR THIS ENTIRE PROJECT IS CURRENTLY A-1 AND IS USED AS AN AGRICULTURAL FARM/RESIDENCES CURRENTLY. THE AREA IMMEDIATELY SURROUNDING THE SUBJECT PARCEL IS ENTIRELY ZONED A-1.
THE PROJECT IS LOCATED NORTH OF COUNTY ROAD 18 AND WEST SIDE OF COUNTY ROAD 23. THE PROJECT SITE TOTALS 63.35 ACRES, MORE OR LESS AND IS UNDER THE OWNERSHIP OF SPARTIN DEVELOPMENT, LLC BY INSTR. #2025-08269.

SETBACKS - A-1 ZONE ELKHART COUNTY
FRONT YARD = 35 FEET FROM NEW DEDICATED R/W ON C.R. 23 / 30 FEET FROM PROPERTY LINE ON NEW DEDICATED STREETS
35 FEET FROM THE PROPERTY LINE ON ALL CUL-DE-SAC LOTS
SIDE YARD = 10 FEET
REAR YARD = 15 FEET, 35 FEET FROM NEW DEDICATED R/W ON C.R. 18

DENSITY
AREA IN R/W = 7.12+ ACRES
AREA IN COMMON AREAS = 5.55+ ACRES
AREA IN LOTS = 50.68+ ACRES
TOTAL PROJECT AREA = 63.35+ ACRES

SIGNS
A MONUMENT OR FREESTANDING SIGN AT THE SUBDIVISION ENTRANCE IS PLANNED AND WILL MEET ELKHART COUNTY DEVELOPMENT ORDINANCE STANDARDS.

LIGHTING
INDIVIDUAL/PRIVATE LIGHTING FOR EACH LOT

PARKING
NO PARKING LOTS ARE PROPOSED FOR THIS SUBDIVISION.

STREETS
NEW STREETS WILL BE CREATED WITH THIS SUBDIVISION.

DRIVEWAYS
NEW DRIVEWAYS NEED TO COMPLY WITH THE ELKHART COUNTY RESIDENTIAL DRIVE STANDARDS (FIGURE 5) OF THE ELKHART COUNTY HIGHWAY STREET STANDARDS AND MUST HAVE AN APPROVED ROAD IMPACT AGREEMENT IN PLACE PRIOR TO CONSTRUCTION OF THE DRIVE.

SANITARY SEWER
ALL PROPOSED LOTS WILL BE SERVICED BY PRIVATE INDIVIDUAL SEPTIC SYSTEMS.

WATER SUPPLY
PROPOSED LOTS WILL BE SERVICED BY PRIVATE WATER WELLS.

SOILS
THE SUBJECT SITE CONSISTS OF:
BxA & BxB (BRISTOL LOAMY SAND, 0-2% SLOPES & 2-5% SLOPES) AND ALL ARE EXCESSIVELY DRAINED SOILS WITH A SEASONAL HIGH WATER TABLE OF MORE THAN 80 INCHES.
TxuB (TYNER LOAMY SAND, 1-5% SLOPES) AND ALL ARE EXCESSIVELY DRAINED SOILS WITH A SEASONAL HIGH WATER TABLE OF MORE THAN 80 INCHES.
SdxA (SELFRIDGE-CROSIER COMPLEX, 0-1% SLOPES) IS A SOMEWHAT POORLY DRAINED SOIL WITH A SEASONAL HIGH WATER TABLE OF ABOUT 12 TO 24 INCHES.
GeJA (GILFORD SANDY LOAM, 0-2% SLOPES) IS A POORLY DRAINED SOIL WITH A SEASONAL HIGH WATER TABLE OF ABOUT 0 INCHES.
MwKA (MOROCOCO LOAMY SAND, 0-2% SLOPES) IS A SOMEWHAT POORLY DRAINED SOIL WITH A SEASONAL HIGH WATER TABLE OF ABOUT 6 TO 24 INCHES.
CvDA (CROSIER LOAM, 0-1% SLOPES) IS A SOMEWHAT POORLY DRAINED SOIL WITH A SEASONAL HIGH WATER TABLE OF ABOUT 6 TO 18 INCHES.

SOIL INFORMATION WAS OBTAINED FROM THE "SOIL SURVEY OF ELKHART COUNTY, INDIANA". THE SURVEY WAS PUBLISHED BY THE USDA AND NRCS IN COOPERATION WITH PURDUE UNIVERSITY AND THE STATE SOIL CONSERVATION BOARD.
THE PROPOSED SEPTICS ARE BASED ON SOIL BORINGS PERFORMED BY SCHNOEBEL'S SOIL CONSULTING DATED 08/20/2025.

CONTOURS
CONTOURS WERE GENERATED FROM SURVEY DATA COLLECTED ON SITE. VERTICAL DATUM IS NAVD88.

FLOOD NOTE
THE SUBJECT PARCELS ARE NOT WITHIN 1% ANNUAL CHANCE FLOOD (SPECIAL FLOOD HAZARD AREA) AS SCALED AND DEPICTED ON THE FEMA/FIRM COMMUNITY PANEL NUMBER 18039C0162D AND 18039C0164D, BOTH HAVING AN EFFECTIVE MAP DATE OF AUGUST 2, 2011.

ELEVATIONS OF BUILDINGS
FINISHED GRADE OF ANY FUTURE BUILDING SHALL BE SET TO ENSURE ADEQUATE FLOW OF STORMWATER AWAY FROM THE BUILDING. BUILDINGS ARE ANTICIPATED TO BE OF STANDARD CONSTRUCTION (BY OTHERS).

WHEN BUILDING A STRUCTURE BELOW GRADE, SPECIAL CONSIDERATION SHOULD BE GIVEN TO SOIL CONDITIONS, FOUNDATION DESIGN, ETC. SUCH CONSIDERATION IS BEYOND, AND NOT PART OF, THIS PRIMARY SUBDIVISION.

EROSION CONTROL PLAN
AN EROSION CONTROL PLAN (STORMWATER POLLUTION PREVENTION PLAN) AND POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN ARE REQUIRED DUE TO LAND DISTURBANCE WILL BE MORE THAN ONE ACRE OF LAND. ABONMARCHE CONSULTANTS WILL PREPARE THESE PLANS WITH THE DETAILED ROADWAY AND DRAINAGE CONSTRUCTION PLANS AFTER THE PRIMARY PLAT IS CONSIDERED BY PLAN COMMISSION, AND WILL SUBMIT THE PLANS TO THE APPROPRIATE AGENCIES FOR REVIEW AND PERMITS.

LOT AREA TABLE		
LOT No.	AREA (SF)	AREA (AC)
1	37,290	0.86
2	87,120	2.00
3	31,130	0.71
4	31,130	0.71
5	31,130	0.71
6	35,750	0.82
7	34,125	0.78
8	34,125	0.78
9	34,125	0.78
10	34,125	0.78
11	23,492	0.54
12	23,283	0.53
13	26,142	0.60
14	29,688	0.68
15	22,201	0.51
16	20,183	0.46
17	20,183	0.46
18	28,637	0.66
19	44,924	1.03
20	22,779	0.52
21	20,415	0.47
22	20,459	0.47
23	20,456	0.47
24	31,951	0.73
25	33,430	0.77
26	27,470	0.63
27	31,700	0.73
28	27,960	0.64
29	50,423	1.16
30	45,573	1.05
31	32,786	0.75
32	31,337	0.72
33	33,598	0.77
34	30,873	0.71
35	31,250	0.72
36	30,056	0.69
37	29,097	0.67
38	37,232	0.85
39	39,021	0.90

LOT AREA TABLE		
LOT No.	AREA (SF)	AREA (AC)
40	34,720	0.80
41	24,442	0.56
42	21,055	0.48
43	20,940	0.48
44	21,822	0.50
45	43,534	1.00
46	50,084	1.15
47	36,340	0.83
48	29,779	0.68
49	36,914	0.85
50	56,260	1.29
51	35,213	0.81
52	22,970	0.53
53	22,722	0.52
54	23,709	0.54
55	25,245	0.58
56	27,345	0.63
57	27,553	0.63
58	22,302	0.51
59	23,146	0.53
60	23,641	0.54
61	23,997	0.55
62	23,603	0.54
63	25,704	0.59
64	32,068	0.74
65	31,727	0.73
66	31,063	0.71
67	26,000	0.60
68	24,451	0.56
69	22,689	0.52
70	22,046	0.51
71	21,677	0.50
72	23,572	0.54
CA#1	45,758	1.05
CA#2	78,429	1.80
CA#3	52,959	1.22
CA#4	78,257	1.80
ROW	198,676	4.56
CR ROW	110,411	2.53

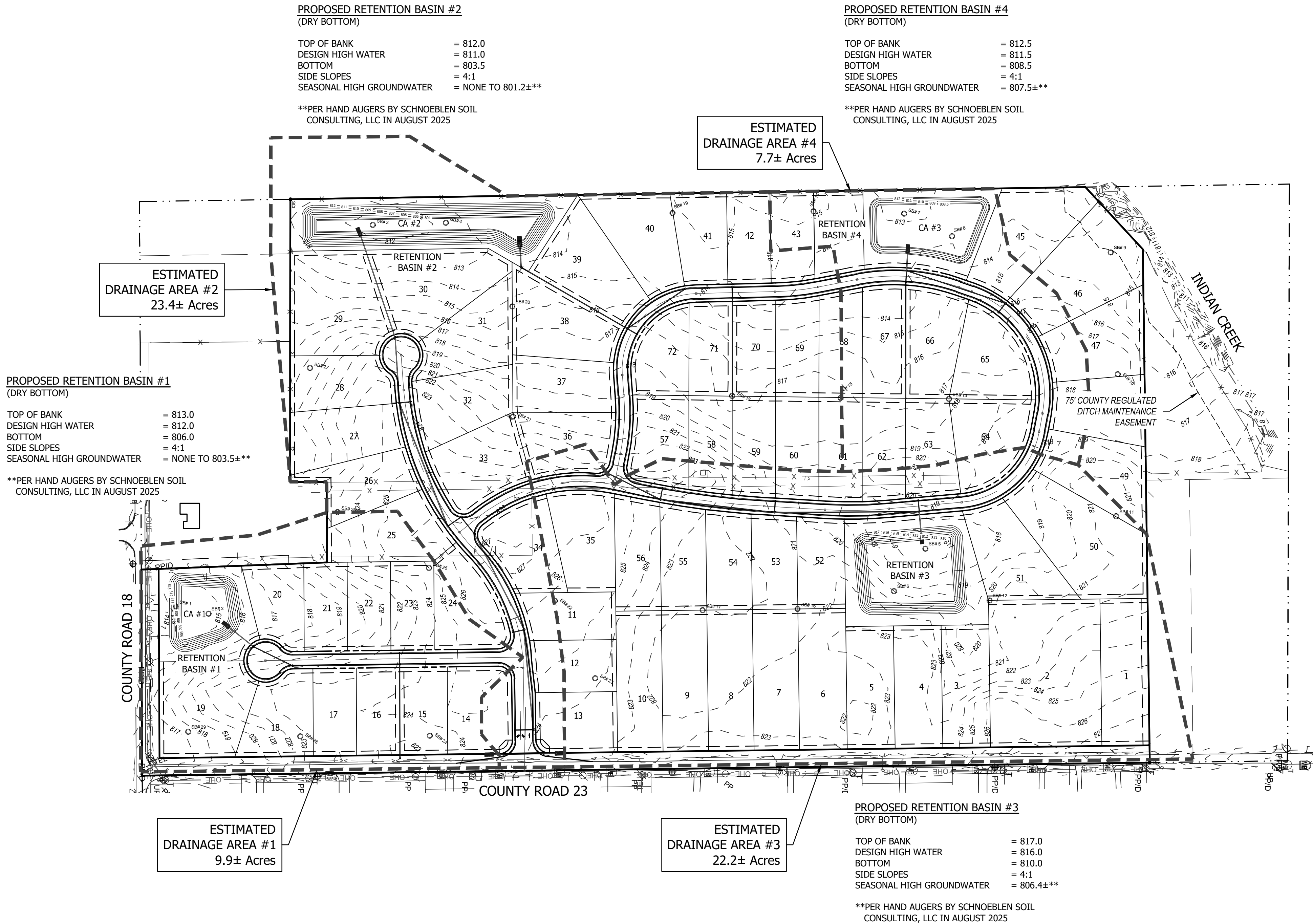
CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	25.05'	400.00'	3°35'17"	S87°27'42"W	25.05'
C2	275.07'	400.00'	39°24'01"	S65°58'03"W	269.68'
C3	55.73'	600.00'	5°19'19"	N48°55'43"E	55.71'
C4	357.45'	600.00'	34°08'04"	N68°39'24"E	352.19'
C5	328.78'	380.00'	49°34'24"	S13°37'26"E	318.62'
C6	272.68'	2,000.00'	7°48'42"	N07°15'25"E	272.47'
C7	147.21'	1,000.00'	8°26'04"	N00°51'58"W	147.08'
C8	259.91'	200.00'	74°27'32"	N42°18'46"W	242.00'
C9	354.29'	250.00'	81°11'54"	S59°51'31"W	325.38'
C10	236.92'	450.00'	30°09'56"	S04°10'36"W	234.19'
C11	100.00'	600.00'	9°32'57"	N06°07'53"W	99.88'
C12	283.97'	175.00'	92°58'20"	S47°50'35"E	253.82'
C13	135.19'	500.00'	15°29'31"	N86°34'59"W	134.78'
C14	48.69'	31.00'	90°00'00"	N45°44'39"W	43.84'
C15	47.12'	30.00'	90°00'00"	S44°15'21"W	42.43'
C16	26.87'	30.00'	51°19'04"	S26°24'11"E	25.98'
C17	60.82'	50.00'	69°41'53"	N17°12'47"W	57.14'
C18	62.50'	50.00'	71°37'11"	N53°26'45"E	58.51'
C19	66.72'	50.00'	76°27'33"	S52°30'53"E	61.88'
C20	56.60'	50.00'	64°51'31"	S18°08'39"W	53.63'
C21	26.87'	30.00'	51°19'04"	N24°54'53"E	25.98'
C22	53.61'	30.00'	102°22'45"	N51°56'02"W	46.75'
C23	203.01'	380.00'	30°36'33"	S61°34'19"W	200.60'
C24	43.65'	620.00'	4°02'01"	N48°17'04"E	43.64'
C25	145.70'	620.00'	13°27'51"	N57°02'00"E	145.36'
C26	105.23'	620.00'	9°43'28"	N68°37'40"E	105.10'
C27	102.83'	620.00'	9°30'10"	N78°14'29"E	102.71'
C28	29.55'	620.00'	2°43'52"	N84°21'30"E	29.55'
C29	26.87'	30.00'	51°19'04"	S60°03'54"W	25.98'
C30	48.23'	50.00'	55°16'09"	N62°02'26"E	46.38'
C31	62.50'	50.00'	71°37'11"	S54°30'54"E	58.51'
C32	62.50'	50.00'	71°37'11"	S17°06'17"W	58.51'
C33	73.41'	50.00'	84°07'37"	N85°01'19"W	67.00'
C34	26.87'	30.00'	51°19'04"	S68°37'02"E	25.98'
C35	147.88'	580.00'	14°36'31"	N78°25'10"E	147.48'
C36	144.86'	580.00'	14°18'35"	N63°57'37"E	144.48'
C37	49.85'	30.00'	95°12'57"	N09°11'51"E	44.31'
C38	152.49'	400.00'	21°50'31"	S27°29'23"E	151.56'
C39	150.47'	400.00'	21°33'11"	S05°47'32"E	149.58'
C40	91.94'	480.00'	10°58'28"	N84°19'28"W	91.80'
C41	37.84'	480.00'	4°31'03"	S87°55'46"W	37.83'
C42	30.00'	195.00'	8°48'48"	S89°55'21"E	29.97'
C43	86.67'	195.00'	25°27'53"	S72°47'00"E	85.96'
C44	86.67'	195.00'	25°27'53"	S47°19'07"E	85.96'

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	80.64'	S85°43'26"W
L2	56.58'	S38°24'38"E
L3	3.72'	S11°09'46"W
L4	77.14'	S11°09'46"W
L5	140.35'	S03°21'04"W
L6	168.91'	S05°05'00"E
L7	42.68'	S79°32'32"E
L8	32.32'	N19°15'34"E
L9	91.90'	N10°54'22"W
L10	182.19'	N01°21'25"W
L11	47.25'	S85°40'15"W
L12	72.82'	N78°50'14"W
L13	46.83'	N00°44'39"W
L14	27.16'	N00°44'39"W
L15	25.31'	S78°50'14"E
L16	47.25'	N85°40'15"E
L17	8.61'	S01°21'25"E
L18	12.04'	N19°15'34"E
L19	20.28'	N19°15'34"E
L20	32.89'	S79°32'32"E
L21	9.79'	S79°32'32"E
L22	64.40'	S03°21'04"W
L23	75.23'	S83°37'17"W
L24	20.94'	N89°43'12"E
L25	108.93'	N89°15'21"E

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L26	22.82'	N78°50'14"W
L27	14.81'	N89°59'07"E
L28	32.32'	N19°15'34"E
L29	42.68'	S79°32'32"E
L30	40.52'	S05°05'00"E
L31	15.54'	S03°21'04"W
L32	24.65'	S03°21'04"W
L33	27.14'	S11°09'46"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C45	86.67'	195.00'	25°27'53"	S21°51'13"E	85.96'
C46	26.43'	195.00'	7°45'52"	S05°14'21"E	26.41'
C47	91.40'	580.00'	9°01'45"	N06°00'31"W	91.31'
C48	3.88'	580.00'	0°22'58"	N10°42'53"W	3.88'
C49	19.67'	470.00'	2°23'52"	S09°42'26"E	19.67'
C50	227.78'	470.00'	27°46'05"	S05°22'32"W	225.56'
C51	85.97'	270.00'	18°14'35"	S28°22'52"W	85.61'
C52	109.50'	270.00'	23°14'10"	S49°07'14"W	108.75'
C53	111.41'	270.00'	23°38'29"	S72°33'33"W	110.62'
C54	75.76'	270.00'	16°04'40"	N87°34'52"W	75.52'
C55	90.23'	220.00'	23°30'00"	N67°47'32"W	89.60'
C56	97.75'	220.00'	25°27'30"	N43°18'46"W	96.95'
C57	97.91'	220.00'	25°30'01"	S17°50'01"E	97.11'
C58	104.55'	1,020.00'	5°52'23"	N02°08'49"W	104.51'
C59	45.60'	1,020.00'	2°33'41"	N02°04'13"E	45.59'
C60	29.34'	2,020.00'	0°49'55"	N03°46'02"E	29.34'
C61	105.68'	2,020.00'	2°59'51"	N05°40'55"E	105.67'
C62	106.46'	2,020.00'	3°01'10"	N08°41'26"E	106.44'
C63	33.94'	2,020.00'	0°57'45"	N10°40'53"E	33.93'
C64	43.89'	30.00'	83°49'18"	N36°55'35"W	40.08'
C65	150.91'	360.00'	24°01'05"	S00°50'47"E	149.81'
C66	160.57'	360.00'	25°33'19"	S25°37'58"E	159.24'
C67	49.98'	30.00'	95°27'06"	S86°08'11"E	44.40'
C68	137.61'	420.00'	18°46'22"	S55°31'27"W	137.00'
C69	115.08'	420.00'	15°41'57"	S72°45'37"W	114.72'
C70	48.69'	31.00'	90°00'00"	N44°15'21"E	43.84'
C71	47.12'	30.00'	90°00'00"	N56°09'46"E	42.43'
C72	140.60'	520.00'	15°29'31"	N86°34'49"W	140.17'
C73	234.63'	155.00'	86°43'51"	S50°57'59"W	212.86'
C74	16.88'	155.00'	6°14'29"	N04°28'39"W	16.88'
C75	1.03'	620.00'	0°05'44"	N01°24'17"W	1.03'
C76	100.69'	620.00'	9°18'20"	N06°06'18"W	100.58'
C77	8.36'	430.00'	1°06'52"	S10°20'56"E	8.36'
C78	100.36'	430.00'	13°22'24"	S03°06'19"E	100.14'
C79	117.66'	430.00'	15°40'41"	S11°25'14"W	117.30'
C80	298.17'	230.00'	74°16'39"	S56°23'54"W	277.72'
C81	27.78'	230.00'	6°55'15"	N83°00'29"W	27.72'
C82	233.92'	180.00'	74°27'32"	N42°18'46"W	217.80'
C83	58.76'	980.00'	3°29'37"	N03°20'12"W	59.75'
C84	84.51'	980.00'	4°56'27"	N05°50'46"E	84.48'
C85	75.60'	1,980.00'	2°11'16"	N01°26'42"E	75.60'
C86	100.73'	1,980.00'	2°54'54"	N06°59'47"E	100.72'
C87	93.61'	1,980.00'	2°42'32"	N09°48'30"E	93.61'
C88	45.37'	420.00'	6°11'20"	S83°42'15"W	45.34'

O:\PROJECTS\2025\25-0775 CR 23 AND CR 18 MAJOR SUBDIVISION INDIAN CREEK\10 SURVEY\18 CAD\PIANS\25-0775 PRIMARY DRAINAGE.DWG PG 3 ROBERT MOREHOUSE 9/19/2025 12:57 PM



STORMWATER CALCULATIONS

THE PROPOSED RETENTION BASINS LISTED BELOW SHALL PROVIDE STORM WATER STORAGE FOR THE PROPOSED PROJECT FOR THE 100 YEAR, 24 HOUR, STORM EVENT. THE FOLLOWING CALCULATIONS ARE BASED ON THE PUBLISHED STORM INTENSITIES CONTAINED IN THE ELKHART COUNTY "GUIDELINES AND STANDARDS FOR DESIGN AND PUBLIC IMPROVEMENT, STREET STANDARDS" DATED JULY 2024 AND THE COUNTY'S SPREADSHEET USING THE RATIONAL METHOD.

RETENTION BASIN #1 (ESTIMATED DRAINAGE AREA #1) = 9.9± ACRES
RETENTION BASIN #2 (ESTIMATED DRAINAGE AREA #2) = 23.4± ACRES
RETENTION BASIN #3 (ESTIMATED DRAINAGE AREA #3) = 22.2± ACRES
RETENTION BASIN #4 (ESTIMATED DRAINAGE AREA #4) = 7.7± ACRES

ESTIMATED COVERAGE - AREA #1

DEVELOPED LOTS (3,500 SF/LOT x 10 LOTS) (C=0.95) = 0.8± ACRES
PROPOSED ROADWAY (C=0.95) = 0.5± ACRES
EXISTING ROADWAY (C=0.95) = 0.3± ACRES
LAWNS / OPEN AREA (C=0.30) = 7.8± ACRES
RETENTION BASIN (C=1.00) = 0.5± ACRES
TOTAL = 9.9± ACRES

MODIFIED RUNOFF COEFFICIENT CALCULATIONS

$C = ((0.8+0.5+0.3) \times 0.95) + (7.8 \times 0.30) + (0.5 \times 1.00) = 0.44$
9.9± ACRES

ESTIMATED COVERAGE - AREA #3

DEVELOPED LOTS (3,500 SF/LOT x 14 LOTS) (C=0.95) = 1.1± ACRES
DEVELOPED LOTS ON CR 23 (8,000 SF/LOT x 10 LOTS) (C=0.95) = 1.8± ACRES
PROPOSED ROADWAY (C=0.95) = 0.8± ACRES
EXISTING ROADWAY (C=0.95) = 0.4± ACRES
LAWNS / OPEN AREA (C=0.30) = 17.1± ACRES
RETENTION BASIN (C=1.00) = 1.0± ACRES
TOTAL = 22.2± ACRES

MODIFIED RUNOFF COEFFICIENT CALCULATIONS

$C = ((1.1+1.8+0.8+0.4) \times 0.95) + (17.1 \times 0.30) + (1.0 \times 1.00) = 0.45$
22.2± ACRES

ESTIMATED COVERAGE - AREA #2

DEVELOPED LOTS (3,500 SF/LOT x 28 LOTS) (C=0.95) = 2.2± ACRES
PROPOSED ROADWAY (C=0.95) = 1.4± ACRES
LAWNS / OPEN AREA (C=0.30) = 18.6± ACRES
RETENTION BASIN (C=1.00) = 1.2± ACRES
TOTAL = 23.4± ACRES

MODIFIED RUNOFF COEFFICIENT CALCULATIONS

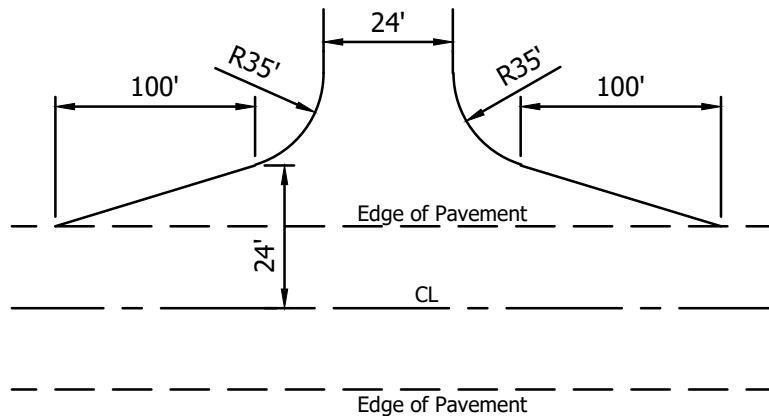
$C = ((2.2+1.4) \times 0.95) + (18.6 \times 0.30) + (1.2 \times 1.00) = 0.44$
23.4± ACRES

ESTIMATED COVERAGE - AREA #4

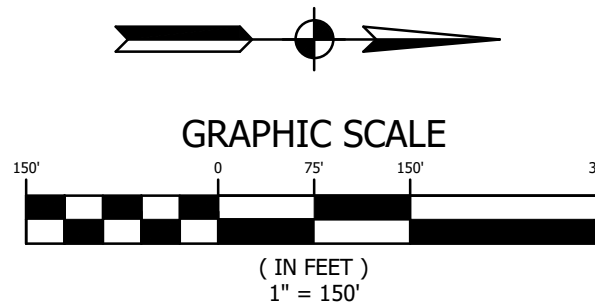
DEVELOPED LOTS (3,500 SF/LOT x 11 LOTS) (C=0.95) = 0.9± ACRES
PROPOSED ROADWAY (C=0.95) = 0.5± ACRES
LAWNS / OPEN AREA (C=0.30) = 5.6± ACRES
RETENTION BASIN (C=1.00) = 0.7± ACRES
TOTAL = 7.7± ACRES

MODIFIED RUNOFF COEFFICIENT CALCULATIONS

$C = ((0.9+0.5) \times 0.95) + (5.6 \times 0.30) + (0.7 \times 1.00) = 0.48$
7.7± ACRES



ENTRANCE DIAGRAM
(NOT TO SCALE)



RETENTION STORAGE VOLUME CALCULATIONS					
PROPOSED RETENTION BASIN #1					
ESTIMATED DRAINAGE AREA =		9.9	Acres		
RUNOFF COEFFICIENT, C =		0.44			
DESIGN RELEASE RATE =		0.00	cfs		
STORM DURATION (hours)	100 YEAR INTENSITY (in/hr)	INFLOW RATE (cfs)	RELEASE RATE (cfs)	STORAGE RATE (cfs)	REQUIRED STORAGE (cft)
0.25	6.47	28.18	0.00	28.18	25576
0.50	3.96	17.25	0.00	17.25	31308
0.75	2.71	11.80	0.00	11.80	32138
1	1.98	8.62	0.00	8.62	31308
2	1.55	6.75	0.00	6.75	49018
3	1.14	4.97	0.00	4.97	54078
4	0.92	4.01	0.00	4.01	58189
5	0.77	3.35	0.00	3.35	60877
6	0.67	2.92	0.00	2.92	63565
7	0.59	2.57	0.00	2.57	65305
8	0.53	2.31	0.00	2.31	67044
9	0.48	2.09	0.00	2.09	68309
10	0.44	1.92	0.00	1.92	69574
15	0.32	1.39	0.00	1.39	75899
20	0.25	1.09	0.00	1.09	79061
24	0.22	0.96	0.00	0.96	83489
Storm intensities are referenced from the Elkhart County Street Standards, effective July 2024					
STORAGE REQUIRED:			83,489	cft	
			5,009	cft (6% siltation factor)	
			2.03	Acre-Ft	
STORAGE PROVIDED BELOW DESIGN HIGH WATER:			2.32	Acre-Ft	
ADDITIONAL STORAGE (FREEBOARD):			0.55	Acre-Ft	

RETENTION STORAGE VOLUME CALCULATIONS					
PROPOSED RETENTION BASIN #2					
ESTIMATED DRAINAGE AREA =		23.4	Acres		
RUNOFF COEFFICIENT, C =		0.44			
DESIGN RELEASE RATE =		0.00	cfs		
STORM DURATION (hours)	100 YEAR INTENSITY (in/hr)	INFLOW RATE (cfs)	RELEASE RATE (cfs)	STORAGE RATE (cfs)	REQUIRED STORAGE (cft)
0.25	6.47	66.62	0.00	66.62	60453
0.50	3.96	40.77	0.00	40.77	74001
0.75	2.71	27.90	0.00	27.90	75964
1	1.98	20.39	0.00	20.39	74001
2	1.55	15.96	0.00	15.96	115861
3	1.14	11.74	0.00	11.74	127821
4	0.92	9.47	0.00	9.47	137538
5	0.77	7.93	0.00	7.93	143892
6	0.67	6.90	0.00	6.90	150245
7	0.59	6.07	0.00	6.07	154357
8	0.53	5.46	0.00	5.46	158468
9	0.48	4.94	0.00	4.94	161458
10	0.44	4.53	0.00	4.53	164448
15	0.32	3.29	0.00	3.29	179398
20	0.25	2.57	0.00	2.57	186872
24	0.22	2.27	0.00	2.27	197337
Storm intensities are referenced from the Elkhart County Street Standards, effective July 2024					
STORAGE REQUIRED:			197,337	cft	
			11,480	cft (6% siltation factor)	
			4.80	Acre-Ft	
STORAGE PROVIDED BELOW DESIGN HIGH WATER:			5.50	Acre-Ft	
ADDITIONAL STORAGE (FREEBOARD):			1.21	Acre-Ft	

RETENTION STORAGE VOLUME CALCULATIONS					
PROPOSED RETENTION BASIN #3					
ESTIMATED DRAINAGE AREA =		22.2	Acres		
RUNOFF COEFFICIENT, C =		0.45			
DESIGN RELEASE RATE =		0.00	cfs		
STORM DURATION (hours)	100 YEAR INTENSITY (in/hr)	INFLOW RATE (cfs)	RELEASE RATE (cfs)	STORAGE RATE (cfs)	REQUIRED STORAGE (cft)
0.25	6.47	64.64	0.00	64.64	58657
0.50	3.96	39.56	0.00	39.56	71802
0.75	2.71	27.07	0.00	27.07	73706
1	1.98	19.78	0.00	19.78	71802
2	1.55	15.48	0.00	15.48	112417
3	1.14	11.39	0.00	11.39	124022
4	0.92	9.19	0.00	9.19	133450
5	0.77	7.69	0.00	7.69	139615
6	0.67	6.69	0.00	6.69	145780
7	0.59	5.89	0.00	5.89	149769
8	0.53	5.29	0.00	5.29	153758
9	0.48	4.80	0.00	4.80	156659
10	0.44	4.40	0.00	4.40	159560
15	0.32	3.20	0.00	3.20	174066
20	0.25	2.50	0.00	2.50	181319
24	0.22	2.20	0.00	2.20	191472
Storm intensities are referenced from the Elkhart County Street Standards, effective July 2024					
STORAGE REQUIRED:			191,472	cft	
			11,488	cft (6% siltation factor)	
			4.66	Acre-Ft	
STORAGE PROVIDED BELOW DESIGN HIGH WATER:			4.91	Acre-Ft	
ADDITIONAL STORAGE (FREEBOARD):			1.07	Acre-Ft	

RETENTION STORAGE VOLUME CALCULATIONS					
PROPOSED RETENTION BASIN #4					
ESTIMATED DRAINAGE AREA =		7.7	Acres		
RUNOFF COEFFICIENT, C =		0.48			
DESIGN RELEASE RATE =		0.00	cfs		
STORM DURATION (hours)	100 YEAR INTENSITY (in/hr)	INFLOW RATE (cfs)	RELEASE RATE (cfs)	STORAGE RATE (cfs)	REQUIRED STORAGE (cft)
0.25	6.47	24.00	0.00	24.00	21783
0.50	3.96	14.69	0.00	14.69	26665
0.75	2.71	10.05	0.00	10.05	27372
1	1.98	7.35	0.00	7.35	26665
2	1.55	5.75	0.00	5.75	41749
3	1.14	4.23	0.00	4.23	46058
4	0.92	3.41	0.00	3.41	49560
5	0.77	2.86	0.00	2.86	51849
6	0.67	2.49	0.00	2.49	54139
7	0.59	2.19	0.00	2.19	55620
8	0.53	1.97	0.00	1.97	57101
9	0.48	1.78	0.00	1.78	58179
10	0.44	1.63	0.00	1.63	59256
15	0.32	1.19	0.00	1.19	64643
20	0.25	0.93	0.00	0.93	67337
24	0.22	0.82	0.00	0.82	71107
Storm intensities are referenced from the Elkhart County Street Standards, effective July 2024					
STORAGE REQUIRED:			71,107	cft	
			4,266	cft (6% siltation factor)	
			1.73	Acre-Ft	
STORAGE PROVIDED BELOW DESIGN HIGH WATER:			1.91	Acre-Ft	
ADDITIONAL STORAGE (FREEBOARD):			0.77	Acre-Ft	

TRIPLE I ENTERPRISES, LLC

**INDIAN CREEK
MAJOR SUBDIVISION**

VACANT LAND, COUNTY ROAD 18 AND COUNTY ROAD 23, GOSHEN, IN

PRIMARY DRAINAGE PLAN

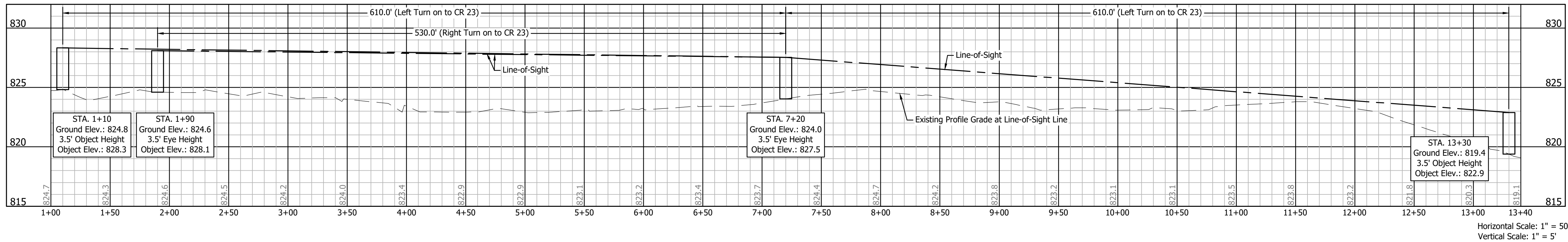
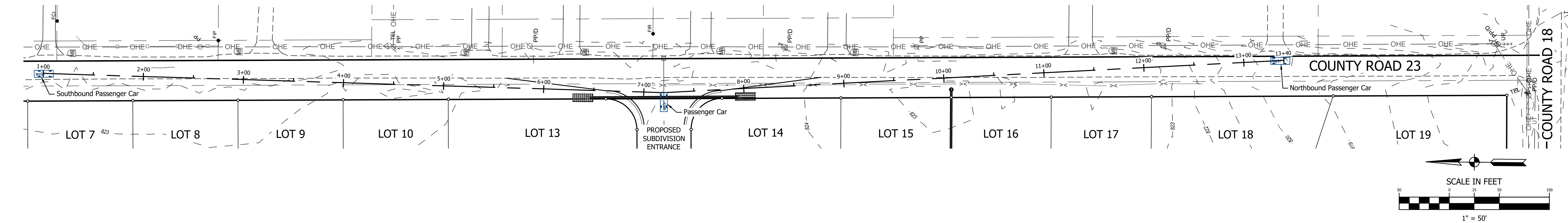


Bradley E. Ponsness

ISSUE DATE: 09-18-2025
PM: BEM QA / QC: CLB
FIELDBOOK: CLB16, PG. 40

1 REVISED PER TECH REVIEW 09-18-2025
ISSUANCE / REVISION DATE
ORIGINAL SHEET IS 24"X36" USE DIMENSIONS SHOWN, DO NOT SCALE DRAWINGS.

PROJECT NO: 25-0775



INTERSECTION SIGHT DISTANCE
PROPOSED SUBDIVISION ENTRANCE

Table 9-7. Design Intersection Sight Distance—Case B1, Left Turn from Stop

U.S. Customary				Metric			
Design Speed (mph)	Stopping Sight Distance (ft)	Intersection Sight Distance for Passenger Cars		Design Speed (km/h)	Stopping Sight Distance (m)	Intersection Sight Distance for Passenger Cars	
		Calculated (ft)	Design (ft)			Calculated (m)	Design (m)
15	80	165.4	170	20	20	41.7	45
20	115	220.5	225	30	35	62.6	65
25	155	275.6	280	40	50	83.4	85
30	200	330.8	335	50	65	104.3	105
35	250	385.9	390	60	85	125.1	130
40	305	441.0	445	70	105	146.0	150
45	360	496.1	500	80	130	166.8	170
50	425	551.3	555	90	160	187.7	190
55	495	606.4	610	100	185	208.5	210
60	570	661.5	665	110	220	229.4	230
65	645	716.6	720	120	250	250.2	255
70	730	771.8	775	130	285	271.1	275
75	820	826.9	830				
80	910	882.0	885				

Note: Intersection sight distance shown is for a stopped passenger car to turn left onto a two-lane highway with no median and grades 3 percent or less. For other conditions, the time gap should be adjusted and the sight distance recalculated.

Table 9-9. Design Intersection Sight Distance—Case B2, Right Turn from Stop

U.S. Customary				Metric			
Design Speed (mph)	Stopping Sight Distance (ft)	Intersection Sight Distance for Passenger Cars		Design Speed (km/h)	Stopping Sight Distance (m)	Intersection Sight Distance for Passenger Cars	
		Calculated (ft)	Design (ft)			Calculated (m)	Design (m)
15	80	143.3	145	20	20	36.1	40
20	115	191.1	195	30	35	54.2	55
25	155	238.9	240	40	50	72.3	75
30	200	286.7	290	50	65	90.4	95
35	250	334.4	335	60	85	108.4	110
40	305	382.2	385	70	105	126.5	130
45	360	430.0	430	80	130	144.6	145
50	425	477.8	480	90	160	162.6	165
55	495	525.5	530	100	185	180.7	185
60	570	573.3	575	110	220	198.8	200
65	645	621.1	625	120	250	216.8	220
70	730	668.9	670	130	285	234.9	235
75	820	716.6	720				
80	910	764.4	765				

Note: Intersection sight distance shown is for a stopped passenger car to turn right onto or to cross a two-lane roadway with no median and with grades of 3 percent or less. For other conditions, the time gap should be adjusted and the sight distance recalculated.

SIGHT DISTANCE PARAMETERS
Speed Limit not posted near project site.
Use Speed Limit of 55 mph.

Right Turn Intersection Sight Distance (55mph): 530'
Left Turn Intersection Sight Distance (55mph): 610'

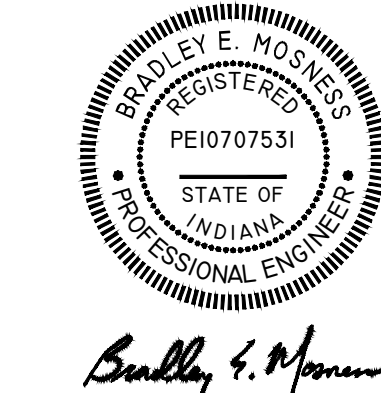
(Per Table 3-1, Table 9-7, and Table 9-9 from the AASHTO Green Book)

TRIPLE I ENTERPRISES, LLC

INDIAN CREEK SUBDIVISION
MAJOR SUBDIVISION

VACANT LAND, CR 18 AND CR 23, GOSHEN, IN

PRIMARY LINE OF SIGHT EVALUATION



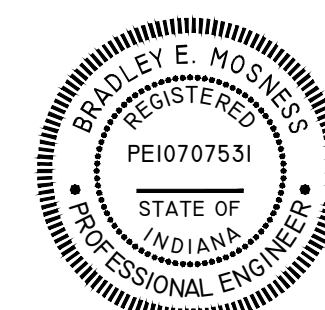
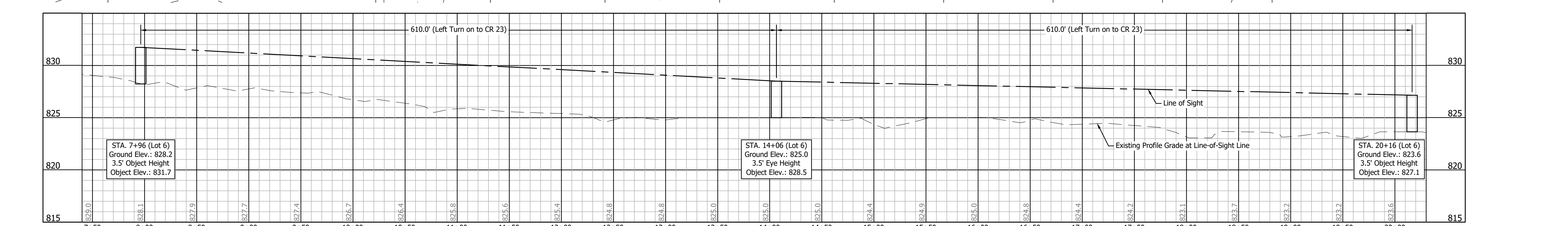
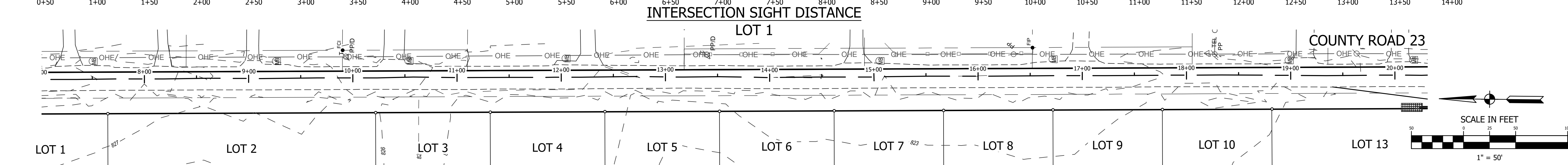
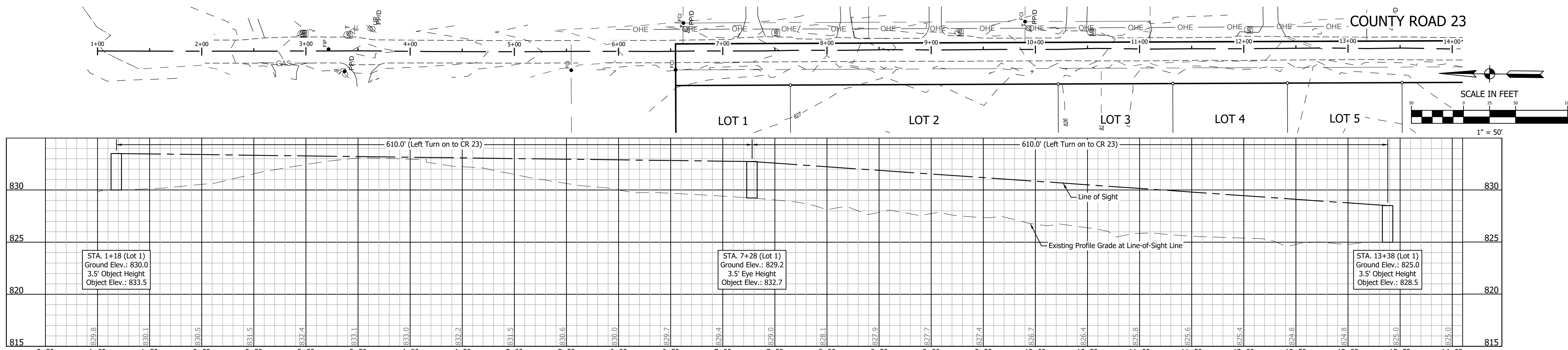
Bradley E. Mosness

ISSUE DATE: 09-18-2025

QA / QC:

1 REVISED PER TECH REVIEW 09-18-2025
ISSUANCE / REVISION DATE
ORIGINAL SHEET IS 24"X36" USE DIMENSIONS
SHOWN, DO NOT SCALE DRAWINGS.

PROJECT NO: 25-0775



Bradley E. Housness
ISSUE DATE: 09-18-2025
QA / QC:

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Major Subdivision - Primary

Date: 09/02/2025 Meeting Date: October 09, 2025
Plan Commission Hearing (Subdivision) Transaction #: MA-0566-2025

Description: for primary approval of 62 lot major subdivision to be known as LUXE GRANGER

Contacts: <u>Applicant</u>	<u>Authorized Agent</u>	<u>Land Owner</u>
Abonmarche Consultants 303 River Race Dr. Suite 206 Goshen, IN 46526	Abonmarche Consultants 303 River Race Dr. Suite 206 Goshen, IN 46526	Emerald Chase Land Development 1849 West Lincoln Ave. Goshen, IN 46526

Site Address: 00000 Cr 1 GRANGER, IN 46530	Parcel Number: 20-01-14-326-008.000-005 20-01-14-376-001.000-005 20-01-14-376-002.000-005 20-01-14-376-003.000-005
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Township: Cleveland
Location: SOUTH SIDE OF CR 1, 2,445 FT. WEST OF CR 5

Subdivision:	Lot #
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Lot Area:	Frontage:	Depth:
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Zoning: A-1	NPO List:
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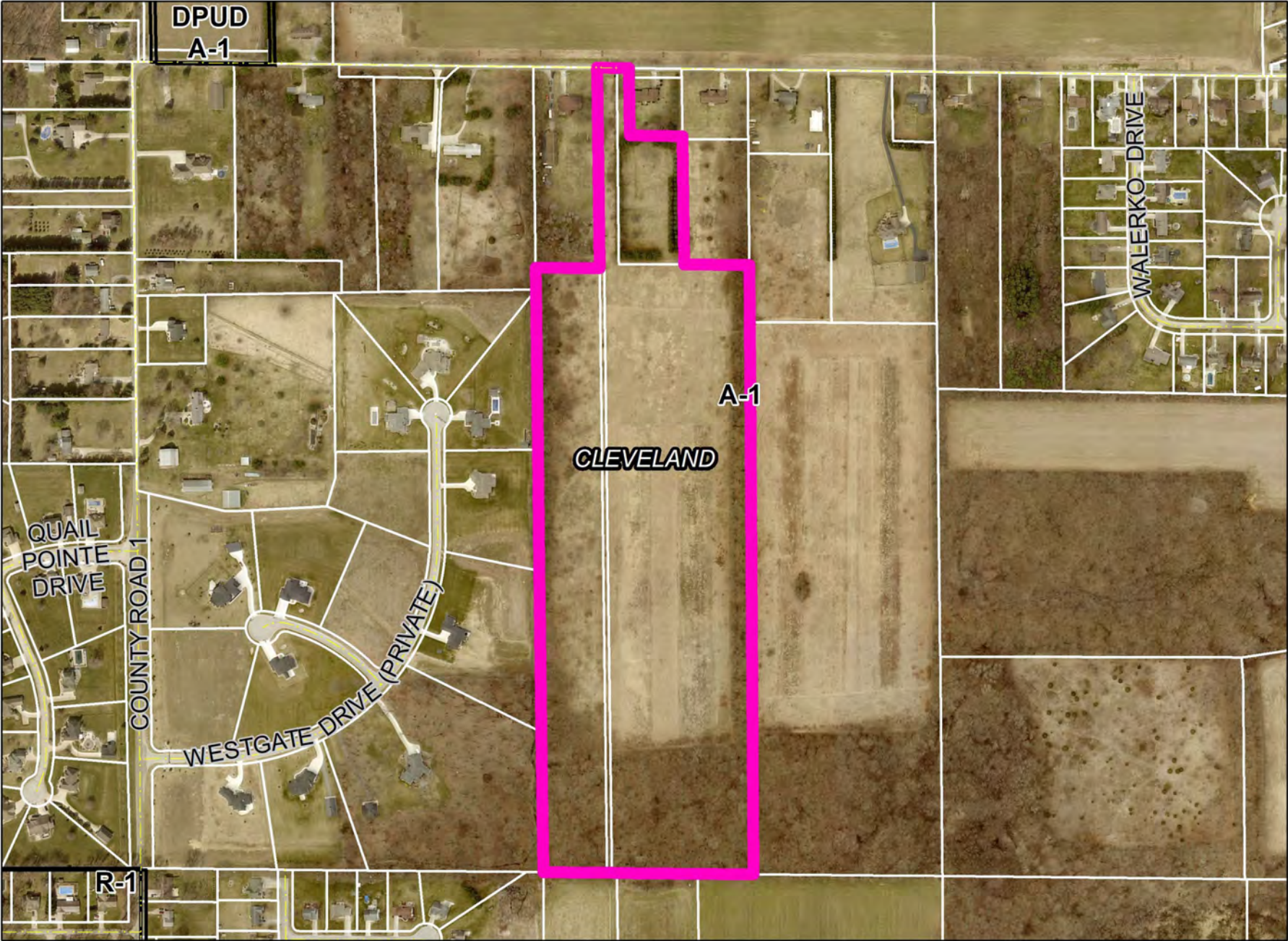
Present Use of Property:

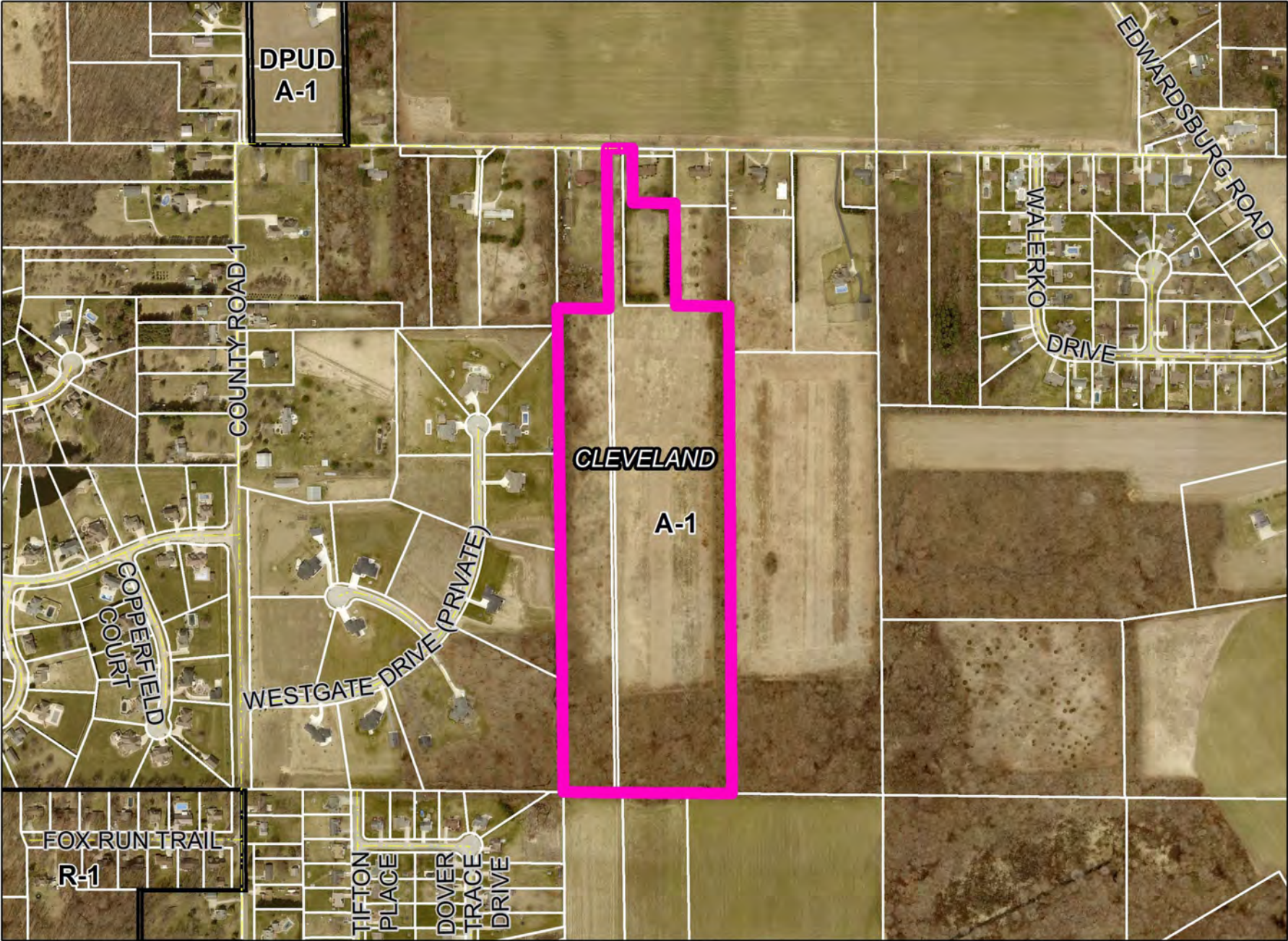
Legal Description:

Comments:

Applicant Signature:

Department Signature:

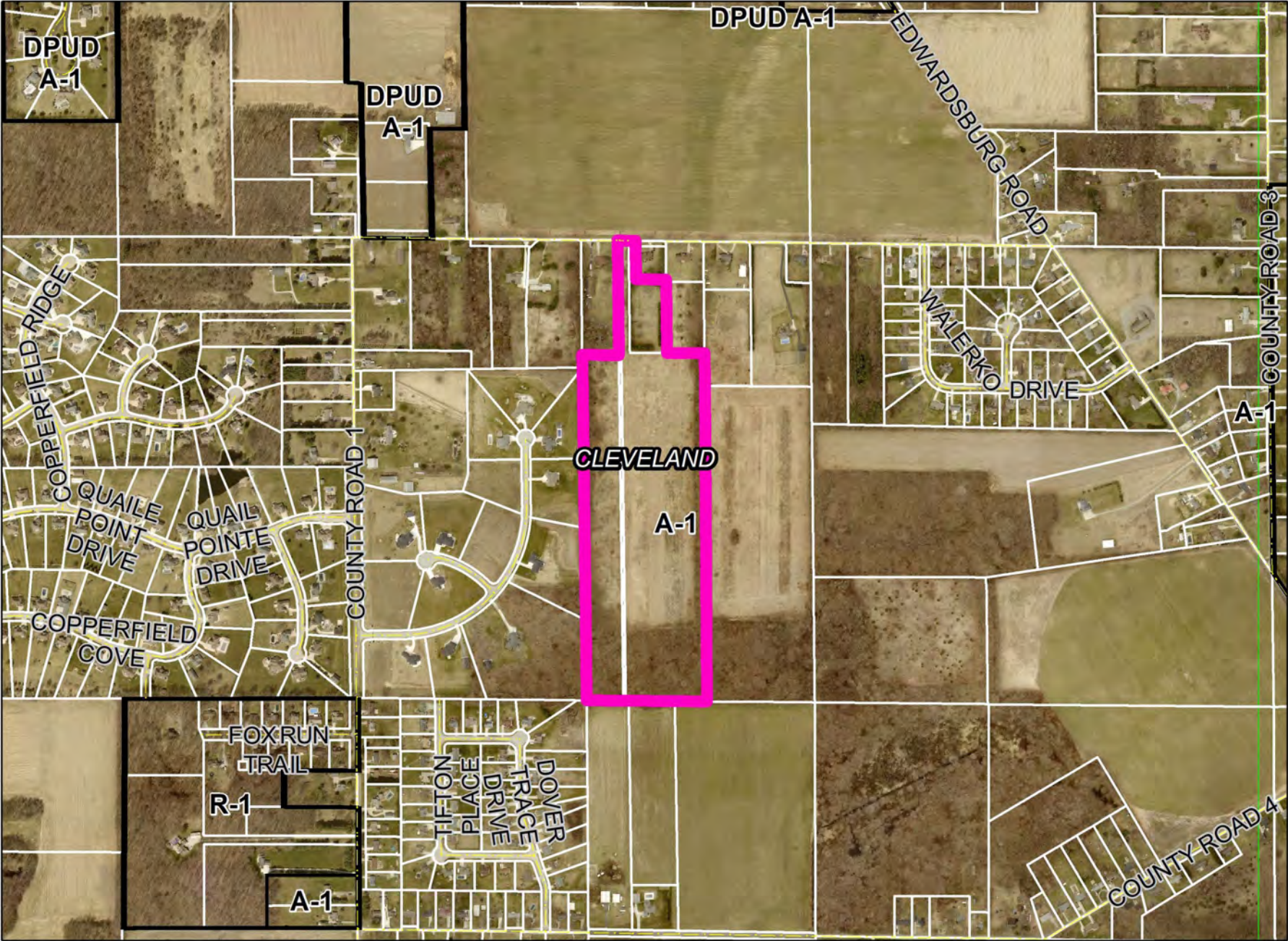




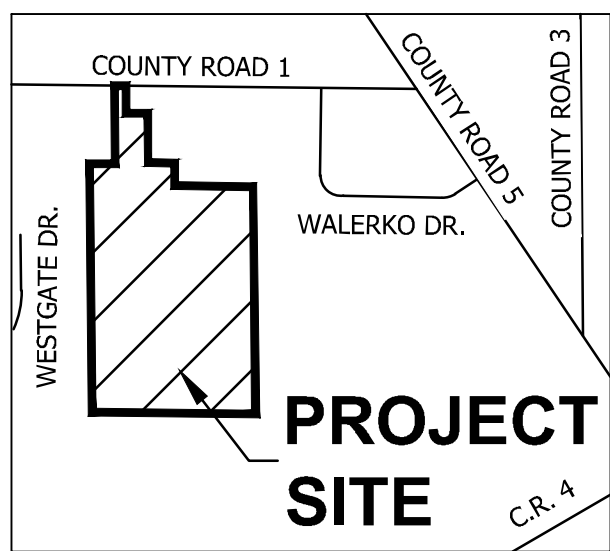
2021 Aerials

1 inch = 500 feet





O:\PROJECTS\2025\25-0991 HERSHBARGER LUXE GRANGER MAJOR\10 SURVEY\18 CAD\PLANS\25-0991 PRIMARY.DWG Pg 1 TANYA MILLER 9.18.2025 10:48 AM



LOCATION MAP
(NOT TO SCALE)

PRIMARY PLAT LUXE - GRANGER

A PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 38 NORTH,
RANGE 4 EAST, CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA.

OWNER: EMERALD CHASE LAND DEVELOPMENT, LLC

ADDRESS: VL, COUNTY ROAD 1, GRANGER, IN. 46530

TAX ID#: 20-01-14-376-001.000-005; 20-01-14-376-002.000-005; 20-01-14-376-003.000-005;
20-01-14-376-005.000-005; 20-01-14-326-008.000-005

(SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTIONS, LINE, CURVE TABLES & AREA TABLES)

TOTAL SUBDIVISION AREA	
2,647,934 S.F.	
60.79± ACRES	
AREA IN R/W	
220,508 S.F.	
5.06± ACRES	
AREA IN COMMON AREAS	
437,467 S.F.	
10.04± ACRES	
AREA IN LOTS	
1,989,959 S.F.	
45.69± ACRES	

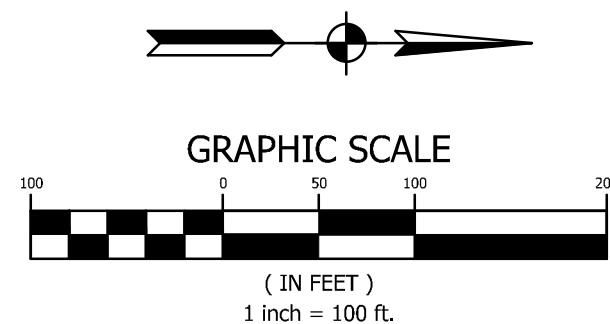
BENCHMARKS

No.	Description	Elevation
TBM "A"	SET BENCHMARK IN NE FACE OF POWER POLE #E123-152 ON S. SIDE OF COUNTY ROAD NO. 1	795.08'

LEGEND

- SB# 100.00 SOIL BORING LOCATION
- OVERHEAD ELECTRIC
- EXISTING GROUND CONTOURS
- WOOD FENCE
- WOVEN WIRE FENCE
- DECIDUOUS TREES-TO BE REMOVED
- TREELINE- TO BE REMOVED
- WELL HEAD
- MAILBOX
- POWER POLE
- GUY ANCHOR
- FOUND CAPPED IRON
- FOUND PINCHTOP IRON PIPE
- FOUND IRON ROD
- FOUND IRON PIPE
- MINIMUM BUILDING SETBACK (AS NOTED)
- 10' DRAINAGE EASEMENT
- 10' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
- RETENTION AREA/Common Area
- 20'X15.6' SIGN EASEMENT AREA

COMMON AREA NOTE:
THE OWNERS OF ALL LOTS IN LUXE - GRANGER
SHALL HAVE EQUAL AND UNDIVIDED OWNERSHIP
OF THE PARCELS OF LAND DESIGNATED AS
COMMON AREAS.



EMERALD CHASE LAND DEVELOPMENT, LLC

LUXE - GRANGER MAJOR SUBDIVISION

VL, COUNTY ROAD 1, GRANGER, IN

PRIMARY PLAT

ISSUE DATE: 09.02.2025
PM: BEM QA / QC: CLB
FIELDBOOK: MAN2, PG. 60

1 ELK CO. TECH COMMENTS 09.18.2025

ISSUANCE / REVISION DATE
ORIGINAL SHEET IS 24"X36". USE DIMENSIONS
SHOWN, DO NOT SCALE DRAWINGS.

PROJECT NO: 25-0991

C:\PROJECTS\2025\25-0991_HEISHBERGER LUXE GRANGER MAJOR\10 SURVEY\18 CAD\PLANS\25-0991_PRIMARY.DWG Pg 2 TANVA MILLER 9.18.2025 10:49 AM

LEGAL DESCRIPTION

A PART OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION FOURTEEN (14), TOWNSHIP THIRTY-EIGHT (38) NORTH, RANGE FOUR (4) EAST, IN CLEVELAND TOWNSHIP, ELKHART COUNTY, STATE OF INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS.

ASSUMING THE NORTH LINE OF SAID QUARTER SECTION TO HAVE A BEARING OF DUE EAST AND WEST, AND COMMENCING AT A STONE MARKING THE NORTHEAST CORNER OF SAID QUARTER SECTION; THENCE DUE WEST, ALONG THE NORTH LINE OF SAID QUARTER SECTION, EIGHT HUNDRED FORTY-TWO (842) FEET; THENCE SOUTH ONE (1) DEGREE SEVENTEEN (17) MINUTES EAST, PARALLEL WITH THE WEST LINE OF THE EAST ONE-HALF (E 1/2) OF SAID QUARTER SECTION, TWENTY-FIVE (25) FEET TO THE PLACE OF BEGINNING OF THIS DESCRIPTION, SAID BEGINNING POINT ALSO BEING THE CENTER LINE OF COUNTY ROAD NUMBER 1; THENCE CONTINUING SOUTH ONE (1) DEGREE SEVENTEEN (17) MINUTES EAST, SIX HUNDRED SIXTEEN AND FORTY-TWO HUNDREDTHS (616.42) FEET; THENCE DUE WEST, PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION TWO HUNDRED TWELVE (212) FEET; THENCE NORTH ONE (1) DEGREE SEVENTEEN (17) MINUTES EAST, SIX HUNDRED SIXTEEN AND FORTY-TWO HUNDREDTHS (616.42) FEET TO THE CENTER LINE OF SAID COUNTY ROAD; THENCE DUE EAST, TWO HUNDRED TWELVE (212) FEET TO THE PLACE OF BEGINNING. CONTAINING THREE (3.00) ACRES OF LAND.

LESS AND EXCEPTING: LOT1 AS THE SAID LOT IS KNOWN AND DESIGNATED ON THE PLAT OF GRANGER DELUXE IN PLAT BOOK 43, PAGE 49 (INSTR. #2024-03036) IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA.

ALSO:

A PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 38 NORTH, RANGE 4 EAST, CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA, SURVEYED BY CRAIG S. BATDORFF, REGISTRATION NUMBER 21200006, WITH ABONMARCHE, INC., AS SHOWN ON PROJECT NUMBER 23-1541 DATED NOVEMBER 10, 2023, DESCRIBED AS FOLLOWS:

COMMENCING AT A STONE MARKING THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00°38'01" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, 824.53 FEET, TO A 5/8 INCH REBAR WITH CAP STAMPED "ABONMARCHE 0050" AND THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST LINE, 1828.30 FEET TO AN IRON PIPE MARKING SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°19'03" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER, 629.74 FEET TO A 5/8 INCH REBAR WITH CAP STAMPED "ABONMARCHE 0050"; THENCE NORTH 00°38'01" WEST, 1827.15 FEET TO A ONE INCH IRON PIPE AT THE SOUTHWEST CORNER OF A TRACT OF LAND DEEDED TO JACK AND VIRLINDA COOPER IN DOCUMENT NUMBER 04-11854 AS SHOWN IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA; THENCE SOUTH 89°25'20" EAST PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST QUARTER AND ALONG THE SOUTH PROPERTY LINE OF SAID COOPER TRACT AND THE EXTENSION THEREOF, A DISTANCE OF 629.72 FEET TO THE POINT OF BEGINNING.

CONTAINING 26.42 ACRES, MORE OR LESS, AND BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND PUBLIC RIGHTS OF WAY OF RECORD.

ALSO:

A PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 38 NORTH, RANGE 4 EAST, CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA, SURVEYED BY CRAIG S. BATDORFF, REGISTRATION NUMBER 21200006, WITH ABONMARCHE, INC., AS SHOWN ON PROJECT NUMBER 23-1541 DATED NOVEMBER 11, 2023, DESCRIBED AS FOLLOWS:

COMMENCING AT A STONE MARKING THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTH 00°38'01" EAST ALONG THE EAST LINE OF SAID QUARTER SECTION, 25.00 FEET TO THE CENTERLINE OF THE RIGHT OF WAY OF COUNTY ROAD NO. 1; THENCE NORTH 89°25'20" WEST PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST QUARTER AND ALONG SAID CENTERLINE, 1053.46 FEET TO THE NORTHWEST CORNER OF A TRACT OF LAND DEEDED TO EMERALD CHASE LAND DEVELOPMENT, LLC AS SHOWN IN DOCUMENT NUMBER 2023-16565 RECORDED IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA AND THE POINT OF BEGINNING; THENCE SOUTH 00°40'45" EAST ALONG THE WEST LINE OF SAID EMERALD CHASE LAND DEVELOPMENT, LLC, 614.49 FEET; THENCE SOUTH 89°13'58" EAST ALONG THE SOUTH SIDE OF SAID EMERALD CHASE DEVELOPMENT TRACT AND THE SOUTH LINE OF A TRACT OF LAND DEEDED TO CHARLES AND ASHLEY CHAMBERLAIN AS SHOWN IN DOCUMENT NUMBER 2022-26168 IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA, A DISTANCE OF 423.29 FEET TO A 1/2 INCH PINCHED PIPE AT THE SOUTHEAST CORNER OF SAID CHAMBERLAIN TRACT; THENCE SOUTH 00°38'01" EAST, 2010.78 FEET TO A 5/8 INCH REBAR WITH CAP STAMPED "ABONMARCHE 0050" ON THE SOUTH LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°19'03" WEST, ALONG SAID SOUTH LINE, 684.71 FEET TO THE SOUTHWEST CORNER OF THE EAST HALF OF SAID SOUTHWEST QUARTER BEING MARKED BY A 3/4 INCH PINCHED PIPE ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1998.40 FEET TO THE SOUTHWEST CORNER OF A TRACT OF LAND DEEDED TO RYAN AND ANGELA GORTNEY AS SHOWN IN DOCUMENT NUMBER 2008-07799 IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA; THENCE SOUTH 89°25'20" EAST ALONG THE SOUTH LINE OF SAID GORTNEY TRACT, 209.00 FEET TO A 5/8 INCH REBAR WITH CAP STAMPED "ABONMARCHE 0050" MARKING THE SOUTHEAST CORNER OF SAID GORTNEY TRACT; THENCE NORTH 00°36'54" WEST ALONG THE EAST LINE OF SAID GORTNEY TRACT, 627.00 FEET TO SAID CENTERLINE OF COUNTY ROAD NO. 1; THENCE SOUTH 89°25'20" EAST ALONG SAID CENTERLINE, 51.07 FEET TO THE POINT OF BEGINNING.

CONTAINING 32.25 ACRES, MORE OR LESS, AND BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND PUBLIC RIGHTS OF WAY OF RECORD.

GENERAL NOTES

ZONING & PROPOSED LAND USE

ZONING FOR THIS ENTIRE PROJECT IS CURRENTLY A-1 AND IS USED AS AN AGRICULTURAL FARM/RESIDENCES CURRENTLY. THE AREA IMMEDIATELY SURROUNDING THE SUBJECT PARCEL IS ENTIRELY ZONED A-1.

THE PROJECT IS LOCATED SOUTH OF COUNTY ROAD 1 AND APPROXIMATELY ±2,470 FEET WEST OF C.R. 5. THE PROJECT SITE TOTALS 60.79 ACRES, MORE OR LESS AND IS UNDER THE OWNERSHIP OF EMERALD CHASE LAND DEVELOPMENT, LLC BY INSTR. #2023-16565, INSTR. #2024-01105 & INSTR. #2024-00214.

THE OWNER WOULD LIKE TO CREATE A 62 LOT SUBDIVISION FOR SINGLE FAMILY RESIDENTIAL USE.

SETBACKS - A-1 ZONE ELKHART COUNTY

FRONT YARD = 75 FEET FROM CENTERLINE OF COUNTY ROAD 1 / 50 FEET FROM NEW DEDICATED STREETS
35 FEET FROM PROPERTY LINE ON ALL CUL-DE-SAC LOTS

SIDE YARD = 10 FEET
REAR YARD = 15 FEET

DENSITY

TOTAL PROJECT AREA = 60.79± ACRES
AREA IN R/W = 5.06± ACRES
AREA IN COMMON AREAS = 9.35± ACRES
AREA IN LOTS= 46.38± ACRES

SIGNS - A MONUMENT OR FREESTANDING SIGN AT THE SUBDIVISION ENTRANCE IS PLANNED AND WILL MEET ELKHART COUNTY ORDINANCE STANDARDS.

LIGHTING - INDIVIDUAL/PRIVATE LIGHTING FOR EACH LOT

PARKING- N/A - NO NEW PARKING LOTS ARE PROPOSED WITH THIS SUBDIVISION.

STREETS- NEW STREETS WILL BE CREATED AND DEDICATED TO ELKHART COUNTY WITH THIS SUBDIVISION.

DRIVEWAYS- NEW DRIVEWAYS WILL COMPLY WITH ELKHART COUNTY RESIDENTIAL DRIVE STANDARDS (FIGURE 5) OF THE ELKHART COUNTY HIGHWAY STREET STANDARDS AND MUST HAVE AN APPROVED ROAD IMPACT AGREEMENT IN PLACE PRIOR TO CONSTRUCTION OF THE DRIVE.

COMMERCIAL ENTRANCES WILL COMPLY WITH ELKHART COUNTY COMMERCIAL DRIVE STANDARDS (FIGURE 6) OF THE ELKHART COUNTY HIGHWAY STREET STANDARDS AND MUST HAVE AN APPROVED ROAD IMPACT AGREEMENT IN PLACE PRIOR TO CONSTRUCTION OF THE DRIVE.

SANITARY SEWER

ALL PROPOSED LOTS WILL BE SERVICED BY PRIVATE SEPTIC SYSTEMS.

WATER SUPPLY

ALL PROPOSED LOTS WILL BE SERVICED BY PRIVATE WELLS.

SOILS

THE SUBJECT SITE IS ALMOST ENTIRELY COMPOSED OF
TxuA & TxuB (TYNER LOAMY SAND, 0-1% SLOPE & 1-5% SLOPES) AND ALL ARE EXCESSIVELY DRAINED SOILS WITH A SEASONAL HIGH WATER TABLE OF MORE THAN 80 INCHES.

SOIL INFORMATION WAS OBTAINED FROM THE "SOIL SURVEY OF ELKHART COUNTY, INDIANA". THE SURVEY WAS PUBLISHED BY THE USDA AND NRCS IN COOPERATION WITH PURDUE UNIVERSITY AND THE STATE SOIL CONSERVATION BOARD.

THE PROPOSED SEPTICS ARE BASED ON SOIL BORINGS PERFORMED BY SCHNOEBELN'S SOIL CONSULTING DATED 07/23/2025.

CONTOURS

CONTOURS WERE GENERATED FROM DATA COLLECTED ON SITE. VERTICAL DATUM IS NAVD88.

FLOOD NOTE

THE SUBJECT PARCELS ARE NOT WITHIN 1% ANNUAL CHANCE FLOOD (SPECIAL FLOOD HAZARD AREA) AS SCALED AND DEPICTED ON THE FEMA/FIRM COMMUNITY PANEL NUMBER 18039C0106D WITH AN EFFECT MAP DATE OF AUGUST 2, 2011.

ELEVATIONS OF BUILDINGS

FINISHED GRADE OF ANY FUTURE BUILDING SHALL BE SET TO ENSURE ADEQUATE FLOW OF STORMWATER AWAY FROM PROPOSED BUILDINGS. ANY FUTURE BUILDING WILL BE OF STANDARD CONSTRUCTION.

WHEN BUILDING A STRUCTURE BELOW GRADE, SPECIAL CONSIDERATION SHOULD BE GIVEN TO SOIL CONDITIONS, FOUNDATION DESIGN, ETC.. SUCH CONSIDERATION IS BEYOND, AND NOT PART OF, THIS PRIMARY SUBDIVISION.

EROSION CONTROL PLAN

AN EROSION CONTROL PLAN/STORMWATER POLLUTION PREVENTION PLAN IS REQUIRED, DUE TO LAND DISTURBANCE ANTICIPATED TO BE MORE THAN AN ACRE OF LAND THAT WILL BE DISTURBED DURING CONSTRUCTION.

PRIMARY PLAT
LUXE - GRANGER

A PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 38 NORTH, RANGE 4 EAST, CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA.

OWNER: EMERALD CHASE LAND DEVELOPMENT, LLC

ADDRESS: VL, COUNTY ROAD 1 , GRANGER, IN. 46530

TAX ID #: 20-01-14-376-001.000-005; 20-01-14-376-002.000-005;
20-01-14-376-003.000-005; 20-01-14-376-005.000-005; 20-01-14-326-008.000-005

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	152.53'	2,000.00'	4°22'10"	N01°34'11"E	152.49'
C2	211.54'	2,000.00'	6°03'37"	S00°43'28"W	211.45'
C3	111.38'	2,000.00'	3°11'26"	S03°54'04"E	111.36'
C4	304.68'	2,000.00'	8°43'43"	N01°07'56"W	304.39'
C5	159.61'	2,000.00'	4°34'20"	N05°31'06"E	159.56'
C6	157.00'	1,000.00'	8°59'45"	S03°18'24"W	156.84'
C7	761.70'	530.00'	82°20'39"	S42°21'48"E	697.82'
C8	129.84'	1,000.00'	7°26'21"	S85°42'10"E	129.75'
C9	407.79'	1,660.00'	14°04'30"	S89°01'14"E	406.76'
C10	99.70'	1,970.00'	2°53'59"	N85°23'31"E	99.69'
C11	129.00'	160.00'	46°11'36"	S70°03'42"E	125.53'
C12	129.38'	160.00'	46°19'53"	S23°47'58"E	125.89'
C14	75.71'	510.00'	8°30'20"	N86°19'30"E	75.64'
C15	462.01'	1,990.00'	13°18'08"	N88°43'23"E	460.97'
C16	168.27'	2,010.00'	4°47'47"	S87°01'27"E	168.22'
C17	98.38'	2,020.00'	2°47'26"	N00°46'49"E	98.37'
C18	55.67'	2,020.00'	1°34'45"	N02°57'54"E	55.67'
C19	64.10'	1,980.00'	1°51'17"	S02°49'38"W	64.09'
C20	96.98'	1,980.00'	2°48'23"	S00°29'48"W	96.97'
C21	46.45'	30.00'	88°42'32"	S45°04'03"E	41.95'
C22	72.74'	490.00'	8°30'20"	N86°19'30"E	72.67'
C23	88.11'	2,010.00'	2°30'42"	S83°19'40"W	88.10'
C24	269.55'	2,010.00'	7°41'01"	S88°25'32"W	269.35'
C25	105.60'	2,010.00'	3°00'37"	S86°13'39"E	105.59'
C26	3.39'	2,010.00'	0°05'48"	N84°40'27"W	3.39'
C27	98.55'	1,990.00'	2°50'15"	S86°02'40"E	98.54'
C28	68.04'	1,990.00'	1°55'73"	S88°26'34"E	68.04'
C29	26.87'	30.00'	51°19'04"	N64°55'08"E	25.98'
C30	59.77'	50.00'	68°29'12"	S73°30'12"W	56.27'
C31	62.50'	50.00'	71°37'11"	N36°26'37"W	58.51'
C32	62.50'	50.00'	71°37'11"	N35°10'34"E	58.51'
C33	61.88'	50.00'	70°54'34"	S73°33'33"E	58.01'
C34	26.87'	30.00'	51°19'04"	N63°45'48"W	25.98'
C35	93.69'	2,030.00'	2°38'40"	S88°06'00"E	93.69'
C36	76.25'	2,030.00'	2°09'07"	S85°42'07"E	76.24'
C37	34.20'	1,970.00'	0°59'41"	N85°07'23"W	34.20'
C38	110.21'	1,970.00'	3°12'19"	N87°13'23"W	110.20'
C39	110.02'	1,970.00'	3°11'59"	S89°34'28"W	110.00'
C40	117.76'	1,970.00'	3°25'30"	S86°15'43"W	117.75'
C41	85.18'	1,970.00'	2°28'39"	S83°18'39"W	85.17'
C42	78.68'	530.00'	8°30'20"	N86°19'30"E	78.61'
C43	49.43'	30.00'	94°23'44"	S43°22'48"W	44.02'
C44	56.85'	1,980.00'	1°38'42"	S04°40'26"E	56.84'
C45	92.93'	2,020.00'	2°38'10"	N04°10'42"W	92.93'
C46	163.26'	2,020.00'	4°37'51"	N00°32'42"W	163.22'
C47	47.48'	30.00'	90°40'32"	S43°34'03"E	42.68'
C48	123.23'	1,020.00'	6°55'20"	N85°26'39"W	123.16'
C49	8.63'	1,640.00'	0°18'06"	S82°08'02"E	8.63'
C50	142.74'	1,640.00'	4°59'12"	S84°46'41"E	142.69'
C51	142.01'	1,640.00'	4°57'41"	S89°45'07"E	141.97'
C52	109.49'	1,640.00'	3°49'31"	N85°51'17"E	109.47'
C53	32.81'	1,990.00'	0°56'40"	S84°24'52"W	32.81'
C54	67.90'	1,990.00'	1°57'18"	S85°51'51"W	67.90'
C55	75.79'	180.00'	24°07'33"	N81°05'44"W	75.23'
C56	31.19'	29.00'	61°37'04"	N80°09'31"E	29.71'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C57	75.69'	50.00'	86°43'51"	N87°17'06"W	68.66'
C58	70.37'	50.00'	80°38'23"	N03°35'59"W	64.71'
C59	31.19'	29.00'	61°37'04"	S05°54'40"W	29.71'
C60	76.23'	180.00'	24°15'51"	N12°45'56"W	75.66'
C61	26.87'	30.00'	51°19'04"	S26°17'33"E	25.98'
C62	100.00'	50.00'	114°35'30"	N05°20'40"E	84.15'
C63	62.50'	50.00'	71°37'11"	S81°33'00"E	58.51'
C64	84.15'	50.00'	96°25'28"	S02°28'19"W	74.56'
C65	26.87'	30.00'	51°19'04"	N25°01'31"E	25.98'
C66	226.08'	140.00'	92°31'29"	N46°53'46"W	202.30'
C67	33.84'	1,950.00'	0°59'40"	S86°20'40"W	33.84'
C68	64.84'	1,950.00'	1°54'19"	S84°53'41"W	64.84'
C69	55.09'	1,680.00'	1°52'44"	N84°52'53"E	55.09'
C70	119.69'	1,680.00'	4°04'56"	N87°51'43"E	119.67'
C71	119.77'	1,680.00'	4°05'05"	S88°03'16"E	119.75'
C72	118.14'	1,680.00'	4°01'45"	S83°59'51"E	118.12'
C73	2.33'	980.00'	0°08'10"	N82°03'04"W	2.33'
C74	119.81'	980.00'	7°00'16"	N85°37'17"W	119.73'
C75	45.19'	30.00'	86°18'32"	S47°43'19"W	41.04'
C76	114.12'	2,020.00'	3°14'13"	N06°11'10"E	114.11'
C77	114.17'	980.00'	6°40'30"	S04°28'01"W	114.10'
C78	39.70'	980.00'	2°19'15"	S00°01'51"E	39.69'
C79	52.59'	510.00'	5°54'29"	S04°08'43"E	52.56'
C80	146.00'	510.00'	16°24'08"	S15°18'01"E	145.50'
C81	146.00'	510.00'	16°24'08"	S31°42'10"E	145.50'
C82	153.29'	510.00'	17°13'15"	S65°20'45"E	152.71'
C83	85.27'	510.00'	9°34'45"	S78°44'45"E	85.17'
C84	26.87'	30.00'	51°19'04"	N70°48'21"E	25.98'
C85	60.10'	50.00'	68°52'29"	S79°35'03"W	56.55'
C86	63.22'	50.00'	72°26'35"	N29°45'25"W	59.09'
C87	63.36'	50.00'	72°36'22"	N42°46'04"E	59.21'
C88	59.96'	50.00'	68°42'42"	S66°34'24"E	56.43'
C89	26.87'	30.00'	51°19'04"	N57°52'35"W	25.98'
C90	46.68'	550.00'	4°51'45"	S81°06'15"E	46.66'
C91	122.00'	550.00'	12°42'33"	S72°19'06"E	121.75'
C92	122.00'	550.00'	12°42'33"	S59°36'33"E	121.75'
C93	122.00'	550.00'	12°42'33"	S46°54'00"E	121.75'
C94	122.00'	550.00'	12°42'33"	S34°11'26"E	121.75'
C95	122.00'	550.00'	12°42'33"	S21°28'53"E	121.75'
C96	133.78'	550.00'	13°56'11"	S08°09'31"E	133.45'
C97	160.15'	1,020.00'	8°59'45"	S03°18'24"W	159.98'
C98	3.74'	1,980.00'	0°06'29"	N07°45'02"E	3.74'
C99	115.12'	1,980.00'	3°19'53"	N06°01'51"E	115.11'
C100	107.59'	1,980.00'	3°06'49"	N02°48'30"E	107.58'
C101	107.53'	1,980.00'	3°06'41"	N00°18'15"W	107.51'
C102	107.78'	1,980.00'	3°07'07"	N03°25'10"W	107.76'
C103	17.89'	1,980.00'	0°31'04"	N05°14'15"W	17.89'
C104	90.02'	2,020.00'	2°33'12"	S04°13'11"E	90.02'
C105	107.58'	2,020.00'	3°03'05"	N01°25'02"E	107.57'
C106	107.53'	2,020.00'	3°03'00"	S01°38'00"W	107.52'
C107	21.02'	2,020.00'	0°35'46"	S03°27'23"W	21.02'
C108	86.56'	1,980.00'	2°30'18"	N02°30'08"E	86.56'
C109	64.44'	1,980.00'	1°51'52"	N00°19'02"E	64.43'
C110	149.82'	510.00'	16°49'53"	S48°19'11"E	149.28'

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Rezoning - Rezoning

Date: 08/05/2025 Meeting Date: October 09, 2025
Plan Commission Hearing (Rezoning) Transaction #: RZ-0514-2025

Description: for a zone map change from R-1 to B-2

Contacts: <u>Applicant</u>	<u>Land Owner</u>
Michiana Home Rentals Inc. 3031 Twin Pines Pl. Elkhart, IN 46514	Michiana Home Rentals Inc. 3031 Twin Pines Pl. Elkhart, IN 46514

Site Address: 402 Mottville Rd
Bristol, IN 46507

Parcel Number: 20-03-26-102-002.000-031

Township: Washington
Location: EAST SIDE OF SR 15. 900 FT NORTH OF SR 120

Subdivision:	Lot #
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Lot Area:	Frontage:	Depth:
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Zoning: R-1, R-1	NPO List:
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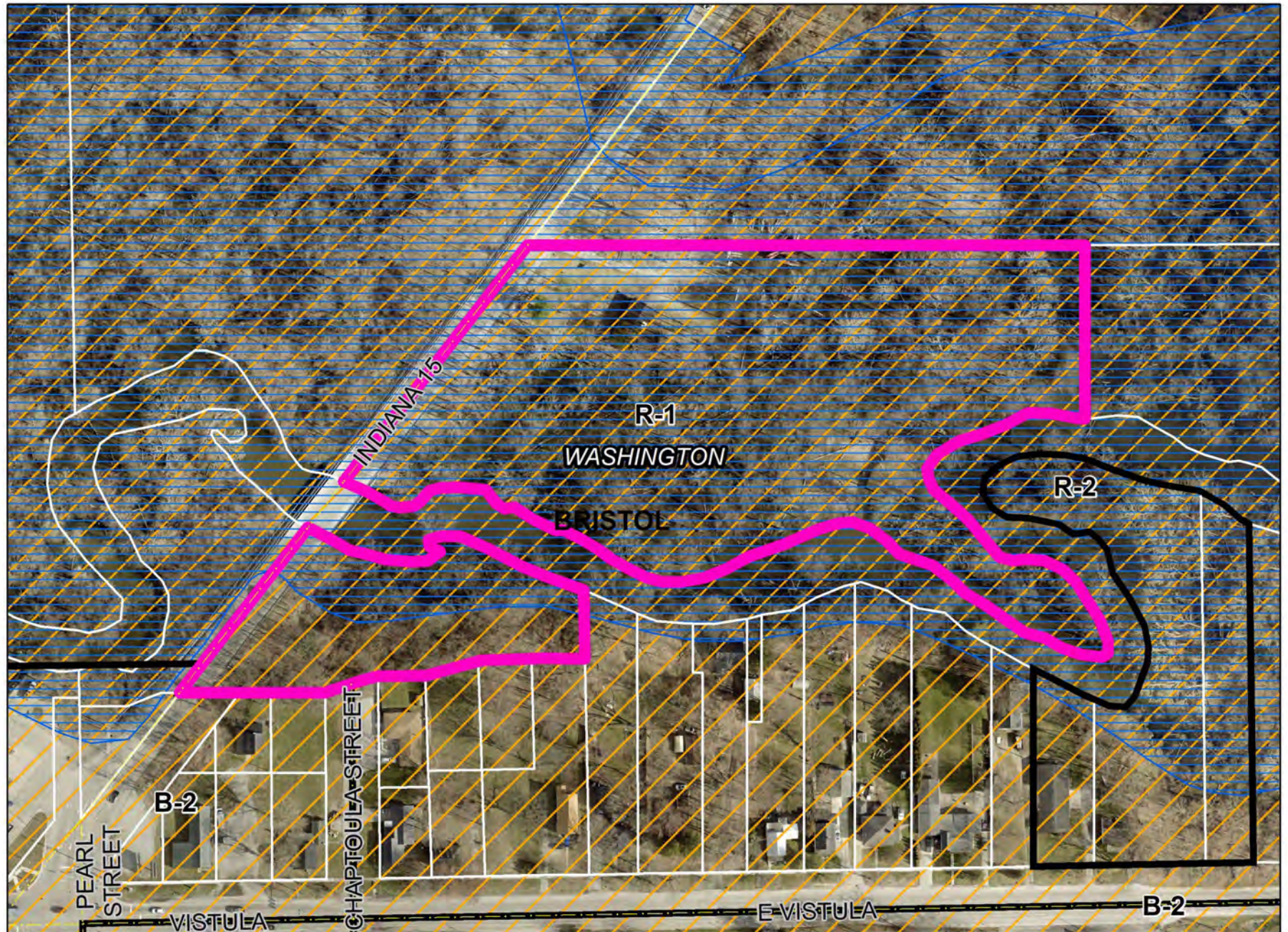
Present Use of Property:

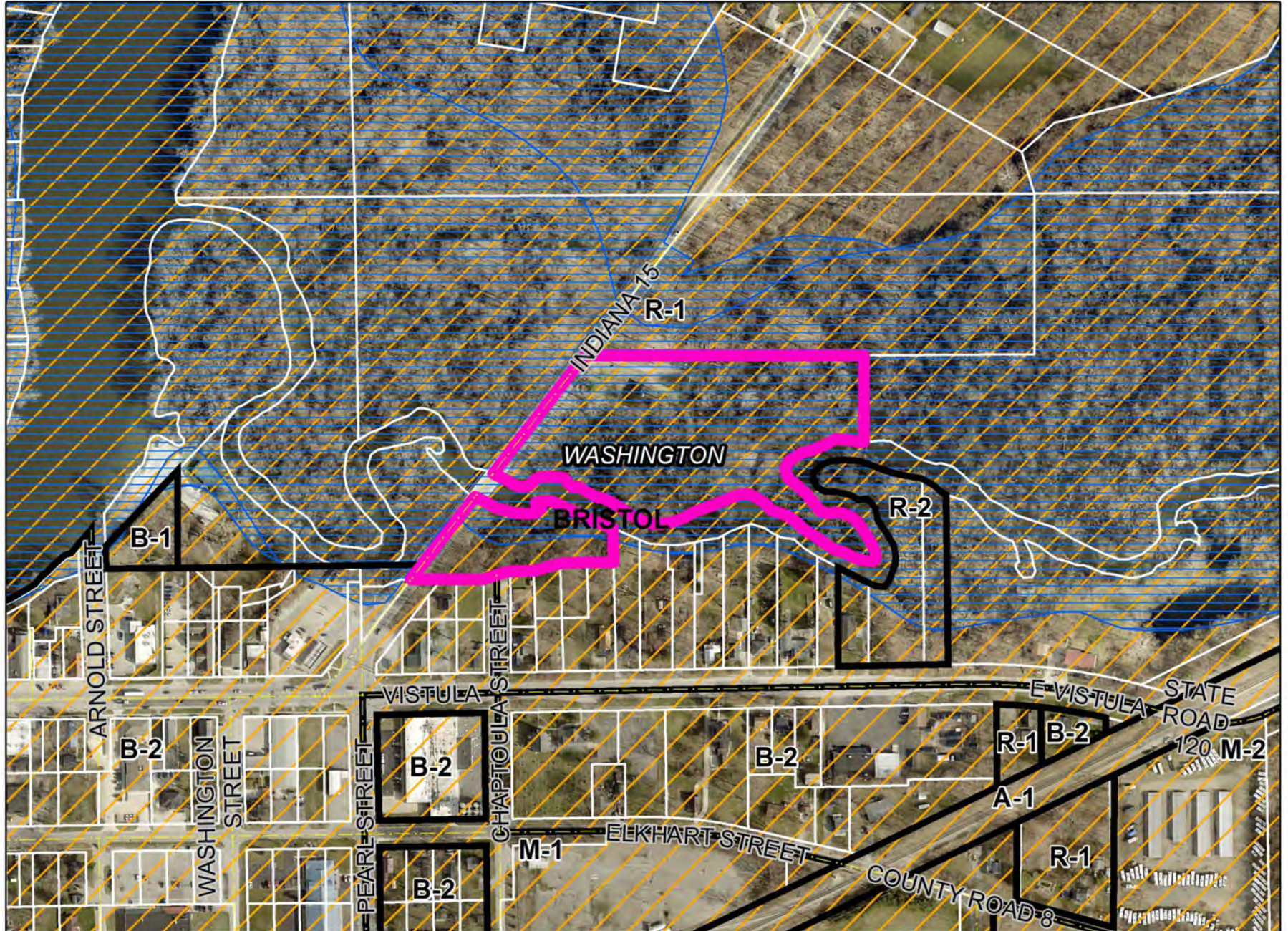
Legal Description:

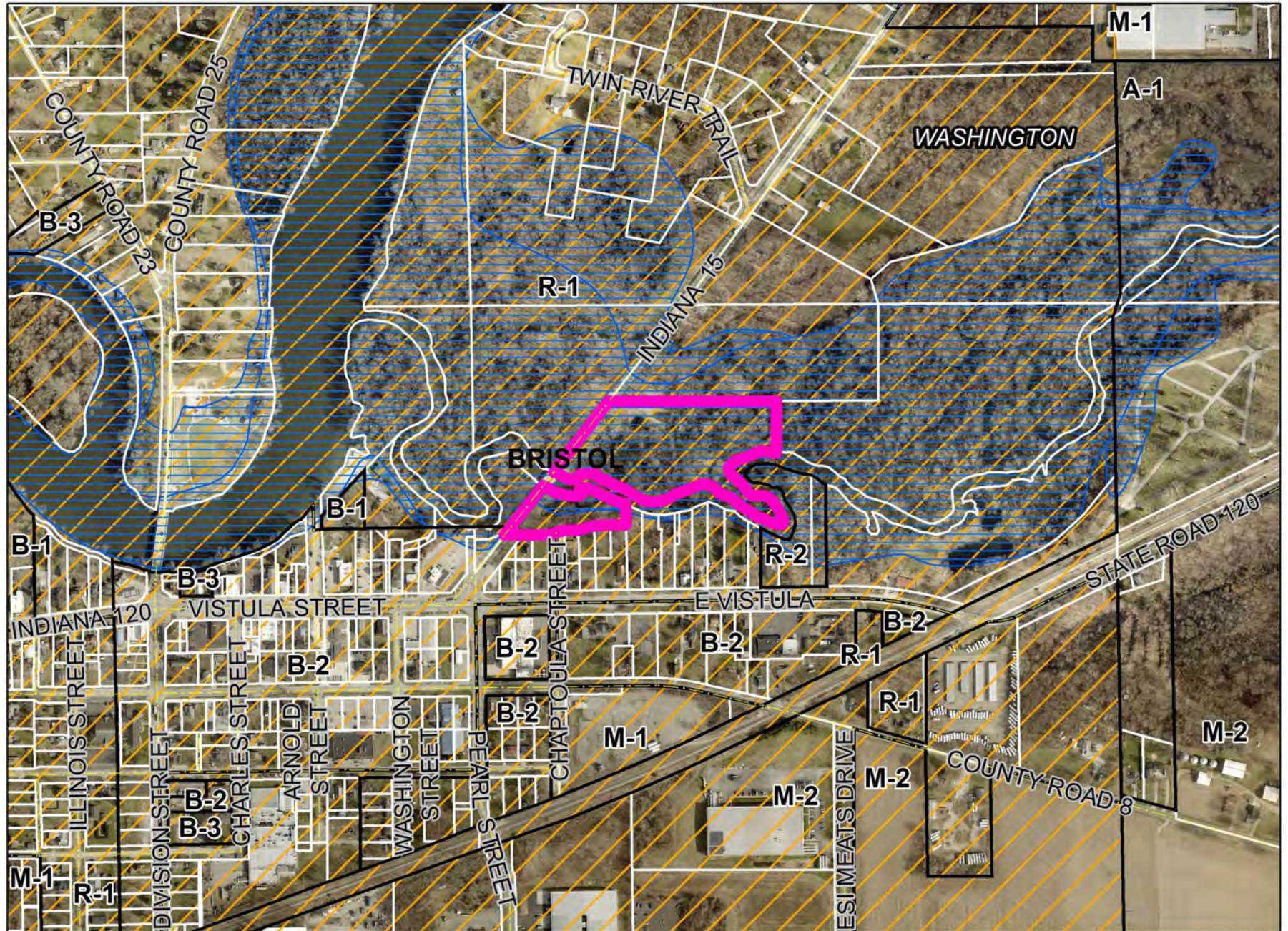
Comments: SEE SUP-0440-2023
SUP-0464-2025 TABLED TO ALLOW REZONING

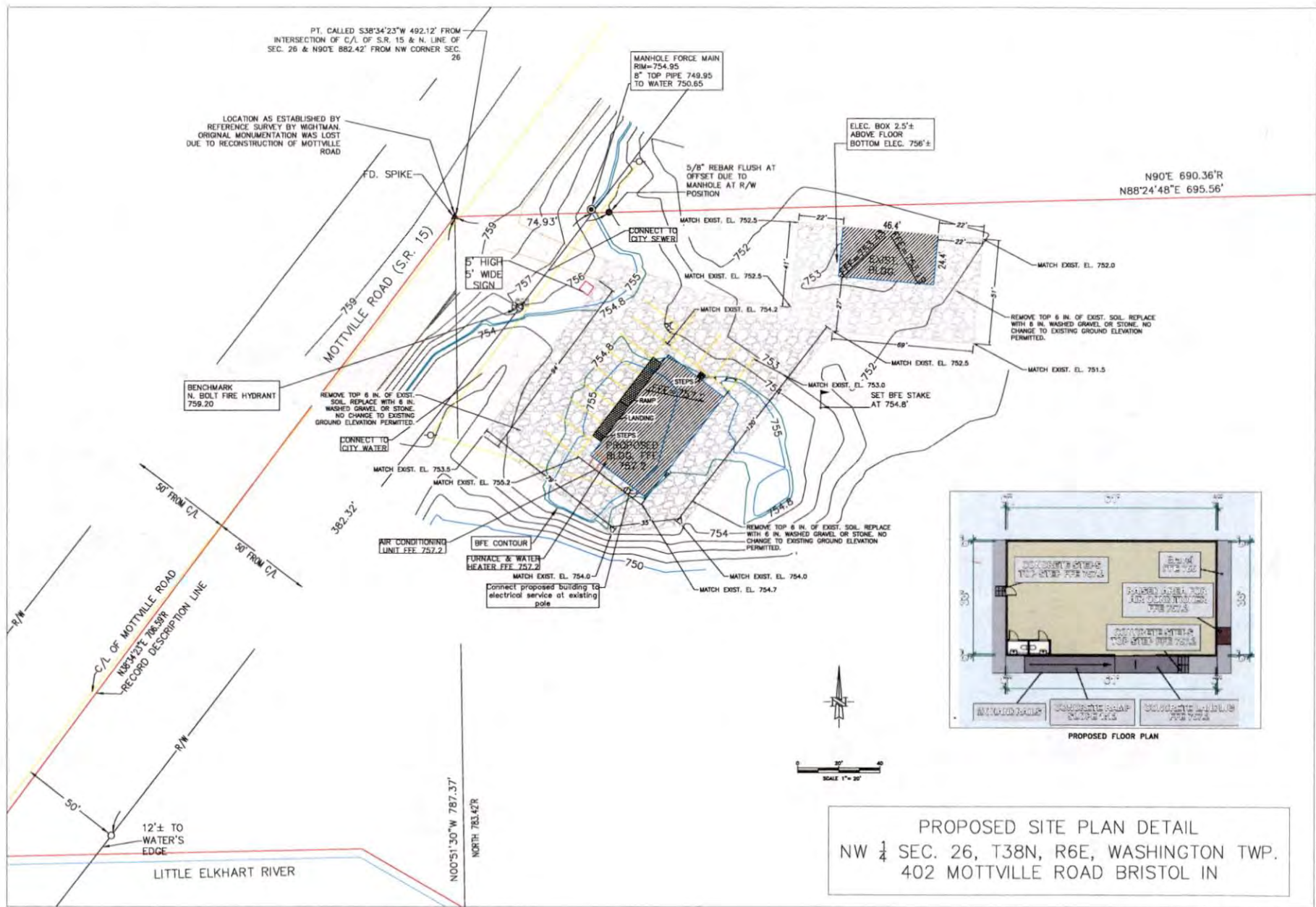
Applicant Signature:

Department Signature:





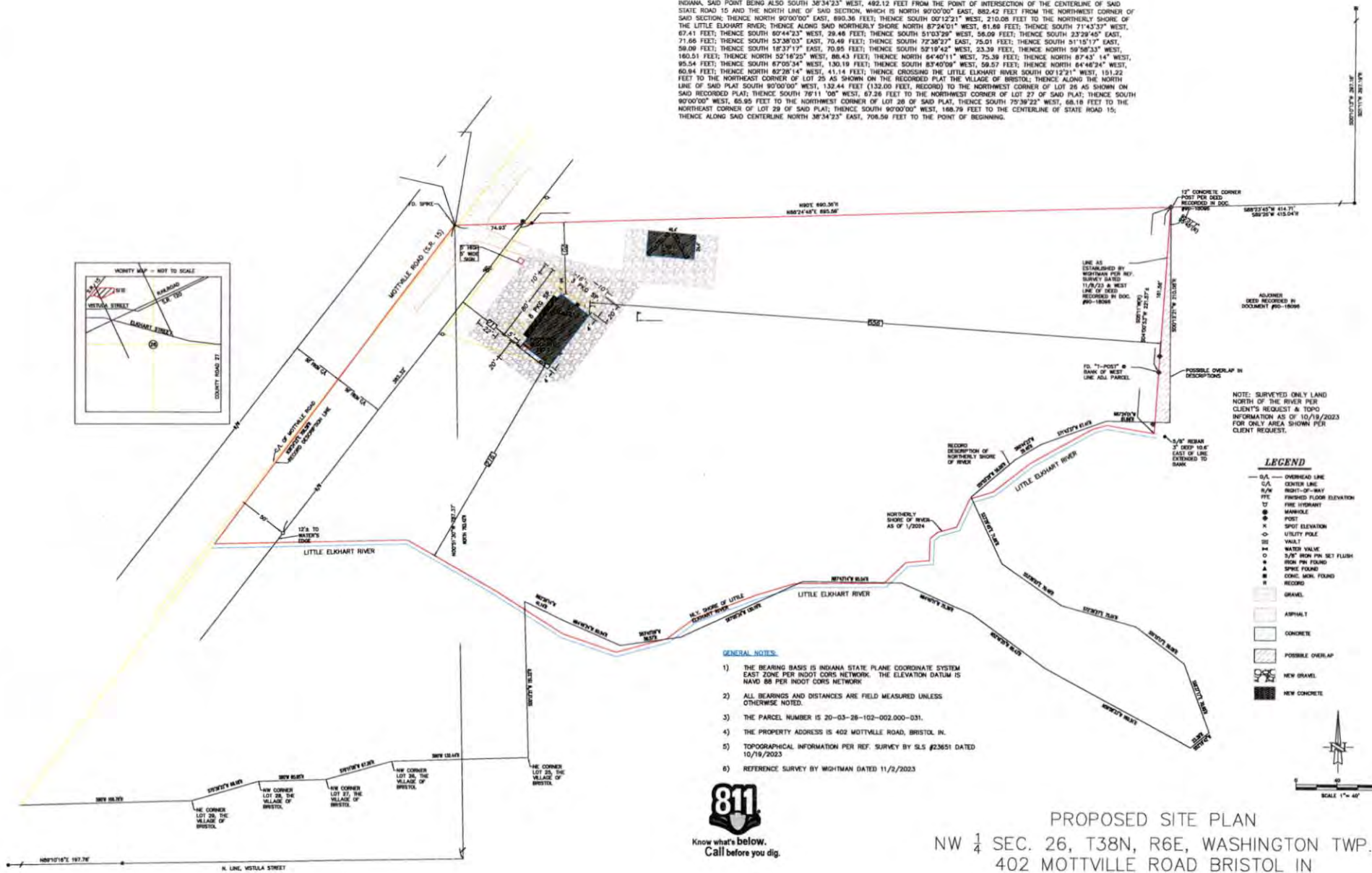




LAND DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 6 EAST, WASHINGTON TOWNSHIP, ELKHART COUNTY, INDIANA WHICH IS DESCRIBED AS:

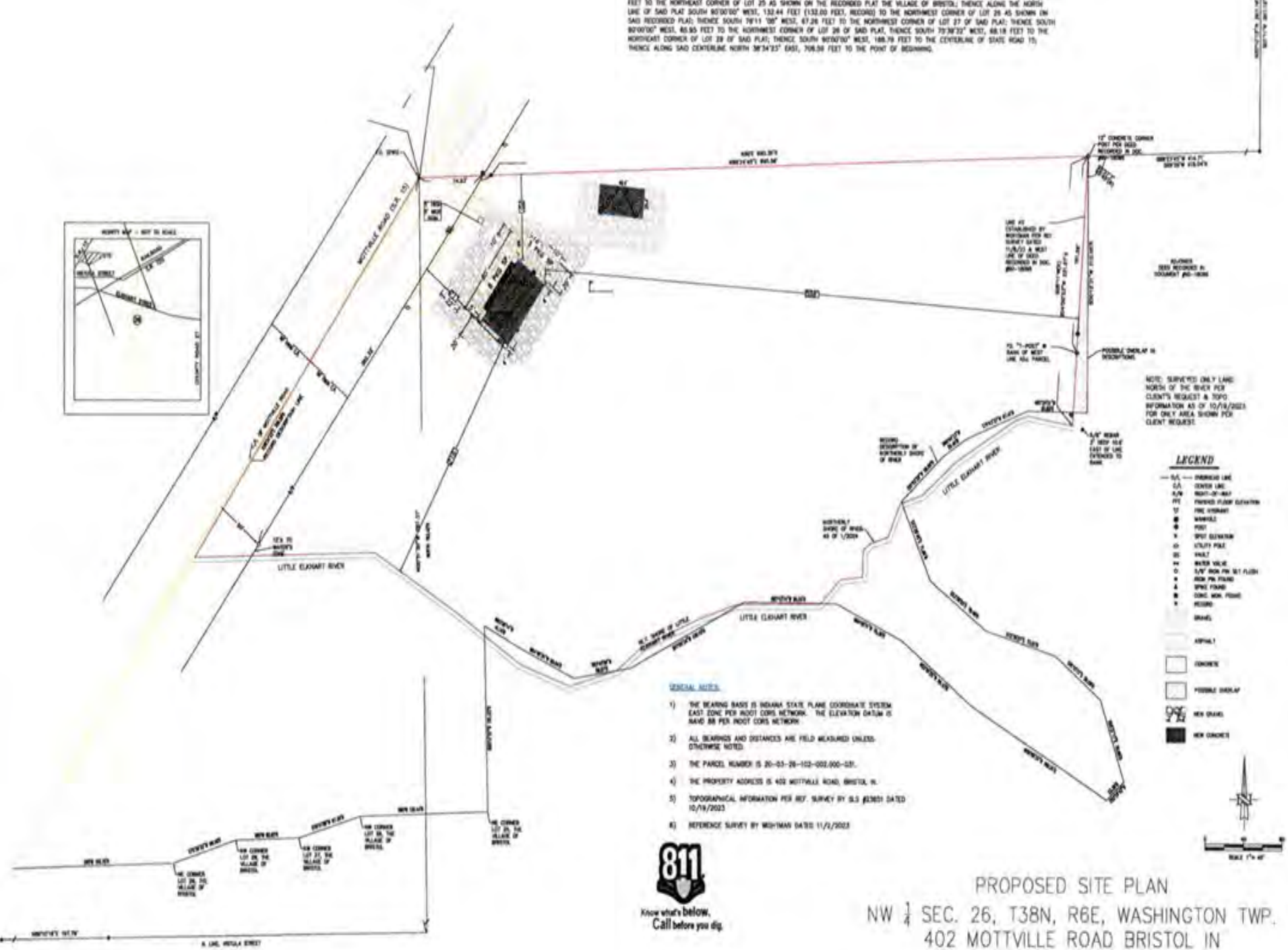
BEGINNING AT A POINT ON THE CENTERLINE OF STATE ROAD 15 WHICH IS 783.42 FEET NORTH OF THE NORTH LINE OF VISTULA STREET AS SHOWN ON THE RECORDED PLAT OF THE VILLAGE OF BRISTOL AS RECORDED IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA, SAID POINT BEING ALSO SOUTH 38°34'23" WEST, 482.12 FEET FROM THE POINT OF INTERSECTION OF THE CENTERLINE OF SAID STATE ROAD 15 AND THE NORTH LINE OF SAID SECTION, WHICH IS NORTH 90°00'00" EAST, 882.42 FEET FROM THE NORTHWEST CORNER OF SAID SECTION; THENCE NORTH 90°00'00" EAST, 890.36 FEET; THENCE SOUTH 00°12'21" WEST, 210.08 FEET TO THE NORTHERLY SHORE OF THE LITTLE ELKHART RIVER; THENCE ALONG SAID NORTHERLY SHORE NORTH 87°24'01" WEST, 81.88 FEET; THENCE SOUTH 71°43'53" WEST, 67.41 FEET; THENCE SOUTH 60°44'23" WEST, 29.48 FEET; THENCE SOUTH 51°03'29" WEST, 56.09 FEET; THENCE SOUTH 23°29'45" EAST, 71.66 FEET; THENCE SOUTH 53°38'03" EAST, 70.48 FEET; THENCE SOUTH 72°38'27" EAST, 75.01 FEET; THENCE SOUTH 51°15'17" EAST, 58.09 FEET; THENCE SOUTH 18°37'17" EAST, 70.85 FEET; THENCE SOUTH 50°18'42" WEST, 23.39 FEET; THENCE NORTH 58°58'33" WEST, 160.51 FEET; THENCE NORTH 52°16'25" WEST, 86.43 FEET; THENCE NORTH 64°40'11" WEST, 75.39 FEET; THENCE NORTH 87°43' 14" WEST, 95.54 FEET; THENCE SOUTH 87°03'34" WEST, 130.19 FEET; THENCE SOUTH 87°40'09" WEST, 59.57 FEET; THENCE NORTH 64°48'24" WEST, 80.84 FEET; THENCE NORTH 62°26'14" WEST, 41.14 FEET; THENCE CROSSING THE LITTLE ELKHART RIVER SOUTH 00°12'21" WEST, 151.22 FEET TO THE NORTHEAST CORNER OF LOT 25 AS SHOWN ON THE RECORDED PLAT THE VILLAGE OF BRISTOL; THENCE ALONG THE NORTH LINE OF SAID PLAT SOUTH 90°00'00" WEST, 132.44 FEET (132.00 FEET, RECORDED) TO THE NORTHWEST CORNER OF LOT 26 AS SHOWN ON SAID RECORDED PLAT; THENCE SOUTH 78°11' 08" WEST, 87.38 FEET TO THE NORTHWEST CORNER OF LOT 27 OF SAID PLAT; THENCE SOUTH 90°00'00" WEST, 85.95 FEET TO THE NORTHWEST CORNER OF LOT 28 OF SAID PLAT; THENCE SOUTH 75°38'22" WEST, 68.18 FEET TO THE NORTHEAST CORNER OF LOT 29 OF SAID PLAT; THENCE SOUTH 90°00'00" WEST, 168.79 FEET TO THE CENTERLINE OF STATE ROAD 15; THENCE ALONG SAID CENTERLINE NORTH 38°34'23" EAST, 708.59 FEET TO THE POINT OF BEGINNING.



PROPOSED SITE PLAN
NW ¼ SEC. 26, T38N, R6E, WASHINGTON TWP.
402 MOTTVILLE ROAD BRISTOL IN



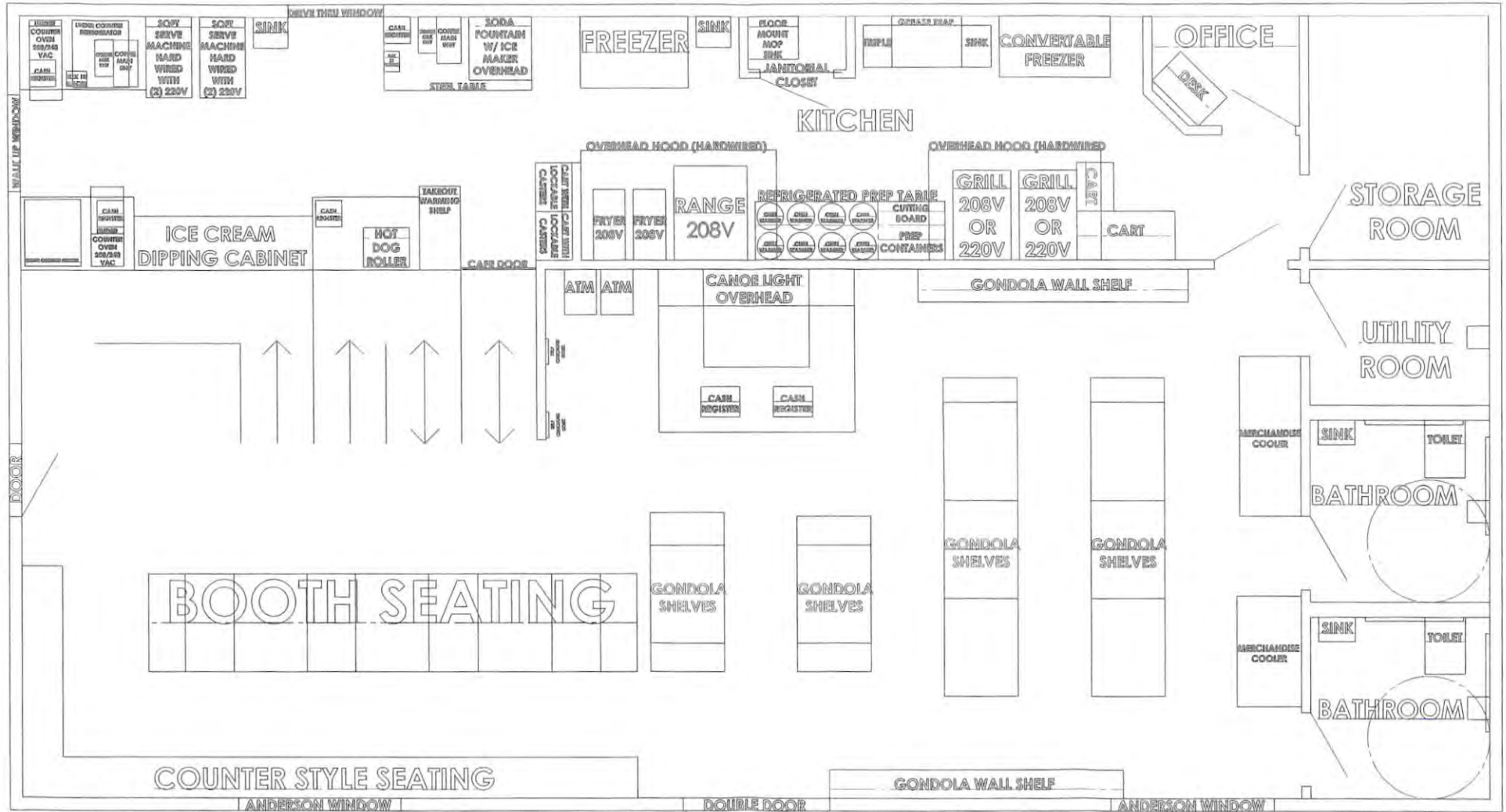
FEET TO THE NORTHEAST CORNER OF LOT 25 AS SHOWN ON THE RECORDED PLAT THE VILLAGE OF BRISTOL; THENCE ALONG THE NORTH LINE OF SAID PLAT SOUTH 89°00'00" WEST, 132.44 FEET (132.00 FEET, RECORDED) TO THE NORTHWEST CORNER OF LOT 26 AS SHOWN ON SAID RECORDED PLAT; THENCE SOUTH 79°11'30" WEST, 47.24 FEET TO THE NORTHWEST CORNER OF LOT 27 OF SAID PLAT; THENCE SOUTH 89°00'00" WEST, 46.95 FEET TO THE NORTHWEST CORNER OF LOT 28 OF SAID PLAT; THENCE SOUTH 79°34'22" WEST, 46.18 FEET TO THE NORTHEAST CORNER OF LOT 28 OF SAID PLAT; THENCE SOUTH 89°00'00" WEST, 146.79 FEET TO THE CENTERLINE OF STATE ROAD 15; THENCE ALONG SAID CENTERLINE NORTH 38°34'23" EAST, 706.39 FEET TO THE POINT OF BEGINNING.



Know what's below.
Call before you dig.

PROPOSED SITE PLAN
NW 1/4 SEC. 26, T38N, R6E, WASHINGTON TWP.
402 MOTTVILLE ROAD BRISTOL IN

Elkhart County Health Department Approved Kitchen/Serving Counter Layout



PLAN COMMISSION & BOARD OF ZONING APPEALS

Detailed PUD Amendment - Rezoning, Plat & Site Plan

Elkhart County Planning & Development Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

DPUD-0511-2025

Date: 08/04/2025 Meeting Date: October 09, 2025 Transaction #: DPUD-0511-2025
Plan Commission Hearing (PUD)

Description: for a zone map change from A-1 to DPUD M-2 and for primary approval of a 1-lot Minor Subdivision to be known as D & M PLYWOOD SALES

Contacts: <u>Applicant</u>	<u>Land Owner</u>	<u>Private Surveyor</u>
Wightman & Associates, Inc	Devon R & Mattie M Miller	Wightman & Associates, Inc
1405 N Michigan	13487 County Road 22	1405 N Michigan
Plymouth, IN 46563	Middlebury, IN 46540	Plymouth, IN 46563

Site Address: 13487 County Road 22 Middlebury, IN 46540	Parcel Number: Part of 20-08-16-401-016.000-034 20-08-16-401-023.000-034 Part of 20-08-16-401-024.000-034
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Township: Middlebury
Location: North Side Of County Road 22, 2,380 Feet West Of County Road 37

Subdivision:	Lot #
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Lot Area:	Frontage:	Depth:
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Zoning: A-1, DPUD	NPO List: 09/24/2025
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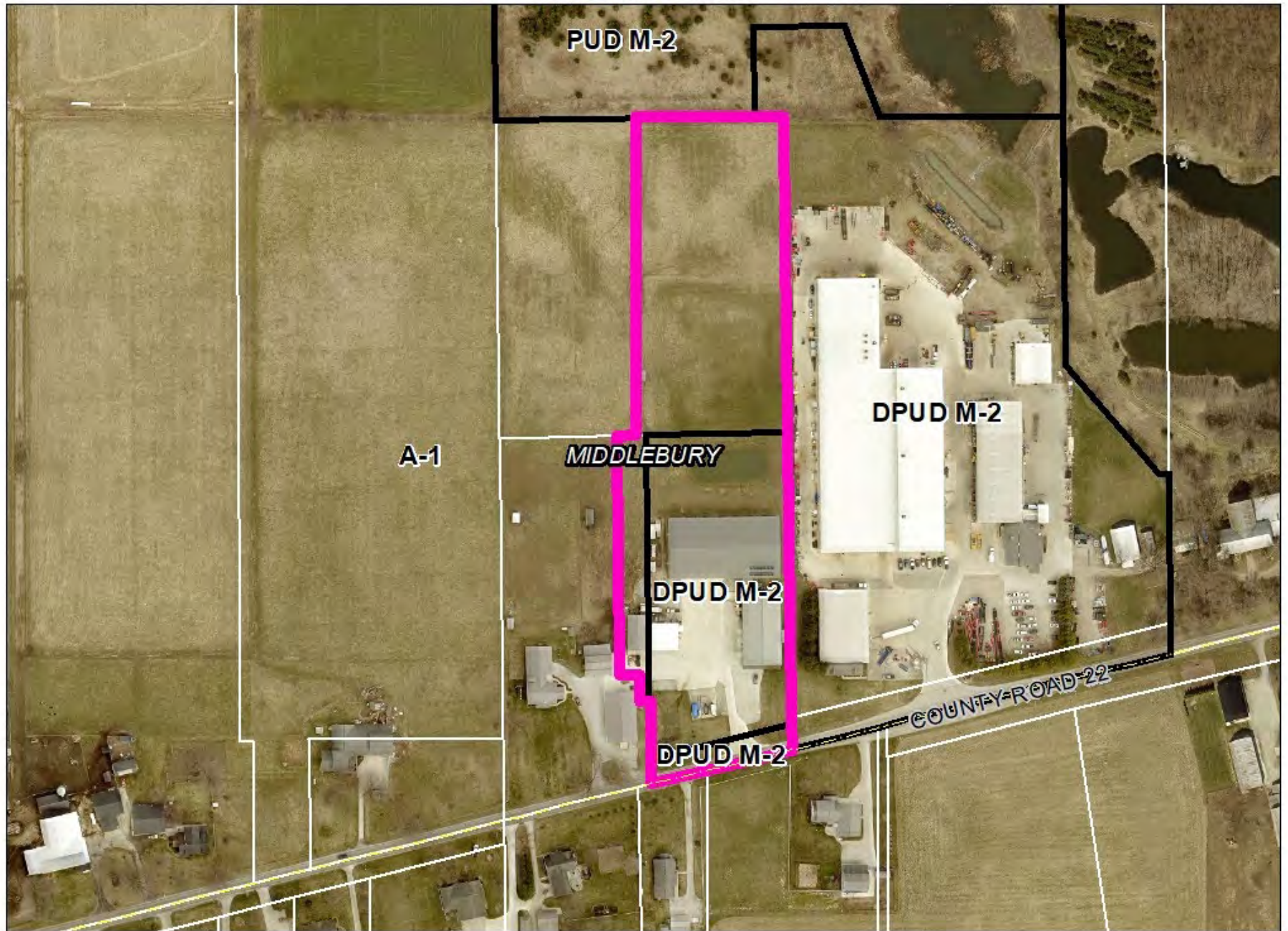
Present Use of Property:

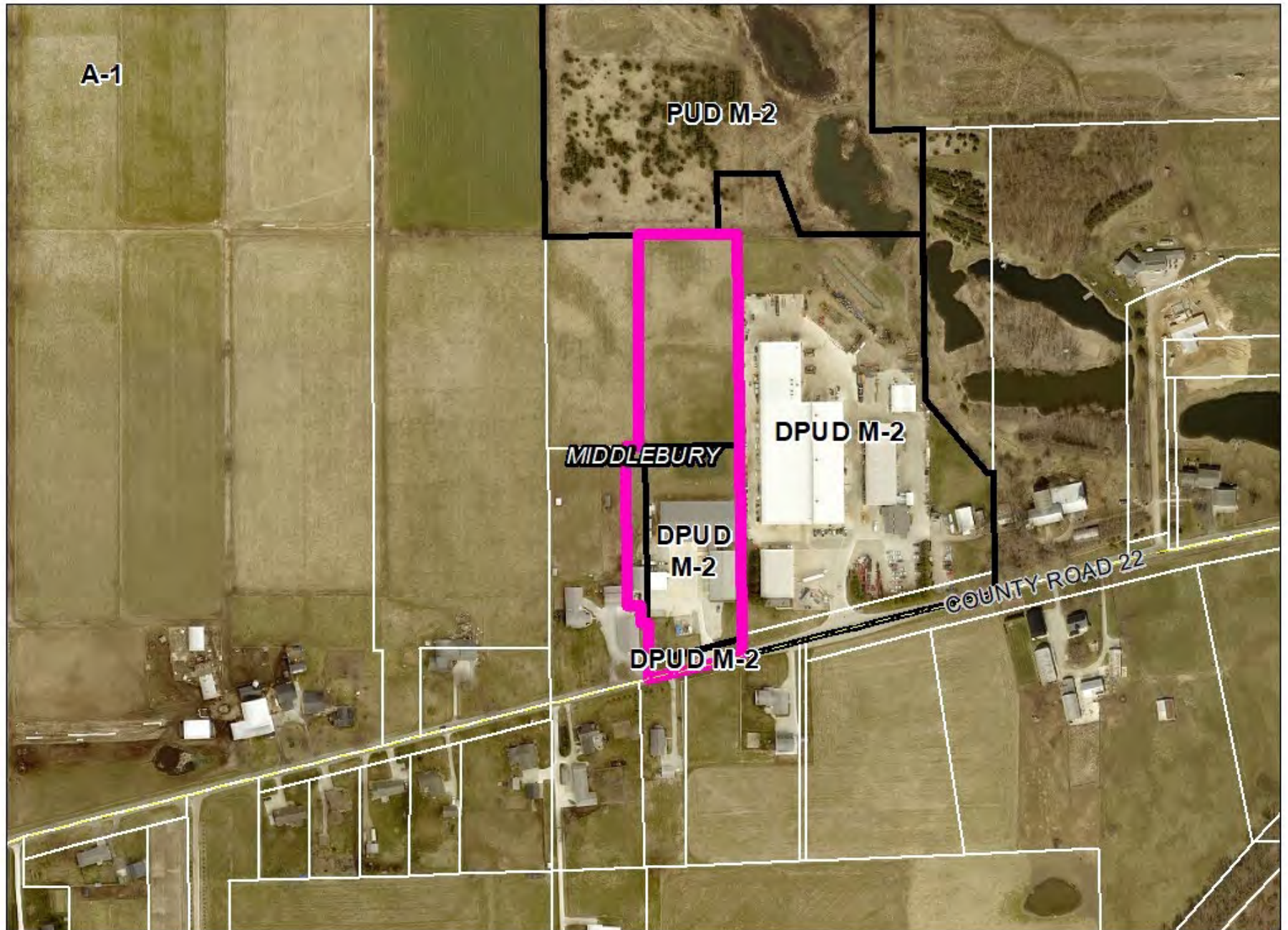
Legal Description:

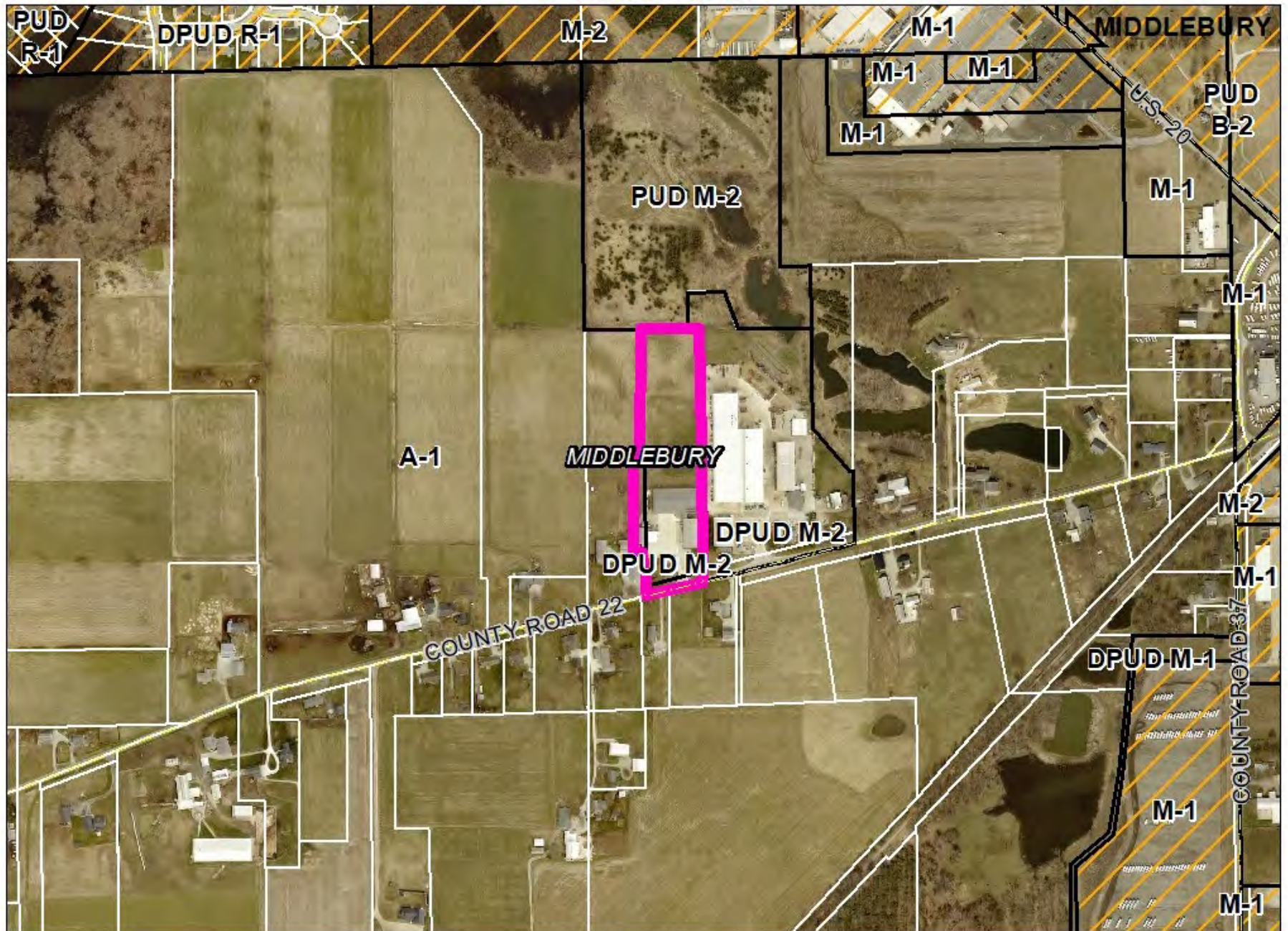
Comments: SEE DPUD AMENDMENT #0226-2019, APPROVED 5/9/2019

Applicant Signature:

Department Signature:







D & M SALES DPUD 1ST AMENDMENT

PART OF THE SOUTHEAST QUARTER OF SECTION 16 TOWNSHIP 36 NORTH, RANGE 7 EAST, MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA

PROJECT NOTES:

- THE "2024 STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "STANDARD PLANS" BY THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE COPIES OF THESE STANDARDS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE ENGINEER.
- THE PLACING OF TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE DONE IN ACCORDANCE WITH THE 2024 INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (INCORPORATED BY REFERENCE)
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO OBTAIN A RIGHT OF WAY PERMIT FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. RIGHT OF WAY PERMIT SHOULD BE COORDINATED WITH THE ELKHART COUNTY STREET DEPARTMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND/OR PLANS PREPARED BY OTHERS. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE SURVEYOR PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING ALL BONDS AND INSURANCE CERTIFICATES AND SUBMITTING TRAFFIC CONTROL PLANS FOR REVIEW AND APPROVAL WHICH MAY BE REQUIRED BY THE COUNTY FOR THE CONSTRUCTION OF THIS PROJECT WITHIN THE RESPECTIVE ROAD RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR THESE PERMITS UNLESS OTHERWISE NOTED.
- IN CONFORMANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-482-7171 FOR PROTECTION OF UNDERGROUND UTILITIES. A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- THE CONTRACTOR SHALL NOTE THAT MACHINE GRADING, MODIFIED INCLUDES THE REMOVAL OF ALL BRUSH, GUARDRAIL, CONCRETE PAD, SPILLWAY AND ALL OTHER MISCELLANEOUS REMOVAL ITEMS AS REQUIRED, THE REMOVAL OF ALL EMBANKMENT, AND ALL OTHER OPERATIONS NECESSARY TO DEVELOP THE DESIRED CROSS SECTION. ALL TOPSOIL AND UNSUITABLE MATERIAL LOCATED BENEATH THE PROPOSED PAVEMENT SHALL BE REMOVED. ALL TOPSOIL REMOVED MAY BE STOCKPILED AND REUSED.
- FILL SHALL BE PLACED AND ADEQUATELY KEYED INTO STRIPPED AND SCARIFIED SOILS PER THE INDOT 2024 STANDARD SPECIFICATIONS FOR CONSTRUCTION. ALL FILL MATERIAL SHOULD BE AT APPROXIMATELY THE OPTIMUM MOISTURE CONTENT DURING COMPACTION. FURTHERMORE, FILL MATERIAL SHOULD NOT BE FROZEN NOR BE PLACED ON A FROZEN BASE. IT IS RECOMMENDED THAT ALL EARTHWORK AND SITE PREPARATION ACTIVITIES BE CONDUCTED UNDER ADEQUATE SUPERVISION AND PROPERLY CONTROLLED IN THE FIELD BY A GEOTECHNICAL ENGINEERING TESTING FIRM.
- COMPACTION OF ANY FILL BY FLOODING IS NOT ACCEPTABLE. THIS METHOD WILL GENERALLY NOT ACHIEVE THE DESIRED COMPACTION, AND THE LARGE QUANTITIES OF WATER WILL TEND TO SOFTEN THE FOUNDATION SOILS.
- ALL FILL FOR THIS PROJECT MUST BE OBTAINED AND FURNISHED BY THE CONTRACTOR. ALL REQUIRED FILL SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER, OR INDOT CLASS II GRANULAR MATERIAL FROM BORROW. EXCESS FILL SHALL BE REMOVED FROM SITE BY THE CONTRACTOR. NOTE: NO BORROW OR SOIL REMOVAL ARRANGEMENTS HAVE BEEN PREARRANGED FOR THIS PROJECT, AND SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR.
- SLOPE ALL BANKS AND GRADE UNIFORMLY FROM BACK OF CURB AT STREET TO BACK OF CURB AT PARKING LOT; FROM BACK OF CURB TO EXISTING OR PROPOSED GRADES; OR FROM BACK OF CURB TO PROPOSED/EXISTING SIDEWALKS. IN AREAS WHERE NO CURBING IS PROPOSED, UNIFORMLY SLOPE GRADE FROM TOP OF PAVEMENT TO EXISTING GRADE AT A MAXIMUM SLOPE OF 1 ON 6, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN SUCH A MANNER SO NO EXCAVATIONS ARE LEFT OPEN OVERNIGHT. IF THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL INSTALL A TEMPORARY FENCE TO PROTECT THE EXCAVATION AT THEIR OWN EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING DRAINAGE PATTERNS, AND SHALL RESOLVE ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH MAY RESULT FROM THE CONTRACTOR'S ACTIVITIES.
- DATUM REFERS TO NAVD88 DATUM.
- ALL SCALES FOR DRAWINGS AND DETAILS ARE BASED ON 24"x36" PRINTED PLANS. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER THAT IS DAMAGED BY THE CONTRACTOR DURING THEIR OPERATIONS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
- ALL PERMANENT SIGNAGE SHALL COMPLY WITH INDIANA'S BARRIER FREE DESIGN REQUIREMENTS AND THE AMERICANS WITH DISABILITIES ACT.
- ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF INDIANA LICENSED PLUMBER AND ACCORDING TO THE NATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF INDIANA AND THE LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, INSPECTIONS AND ALL FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY. THE CONTRACTOR SHALL MAKE ALL PERMANENT UTILITY APPLICATIONS AND SHALL BE RESPONSIBLE FOR ALL APPLICABLE FEES AND UTILITY SERVICE INSTALLATION FEES. THIS INCLUDES BUT IS NOT LIMITED TO PRIMARY AND SECONDARY ELECTRICAL SERVICES, PERTAINING TO SUCH, ON BEHALF OF THE OWNER.
- SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN, AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.

FOR
D & M PLYWOOD SALES
C/O JAMES HOCHSTETLER
13487 COUNTY ROAD 22
MIDDLEBURY, INDIANA 46540



PROJECT LOCATION MAP

SCALE: 1" = 1000'

OWNER INFORMATION

D & M PLYWOOD SALES
C/O JAMES HOCHSTETLER
(250) 350 - 0334

ENGINEER INFORMATION

WIGHTMAN
1405 N. MICHIGAN ST.
PLYMOUTH, IN 46563
(574) 936 - 3469

LAND SURVEYOR INFORMATION

WIGHTMAN
J. BERNARD FEENEY
1405 N. MICHIGAN ST.
PLYMOUTH, IN 46563
(574) 936 - 3469

PROJECT SCHEDULE

BUILDING PROCESS: **TO BE DETERMINED.**
CONSTRUCTION COMPLETE: **TO BE DETERMINED.**



NOTIFY UTILITY COMPANIES BEFORE YOU DIG

IN CONFORMANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-482-7171 FOR PROTECTION OF UNDERGROUND UTILITIES. A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

INDEX OF PLANS

SHEET NO.	SHEET TITLE
1	COVER SHEET
2	EXISTING SITE PLAN
3	DEMOLITION PLAN
4	PROPOSED SITE PLAN
5	DRAINAGE AND GRADING PLAN
6	EROSION CONTROL PLAN
7	EROSION CONTROL PLAN
8	EROSION CONTROL PLAN DETAILS

SITE INFORMATION

GENERAL

SITE PLAN REVIEW - D & M PLYWOOD SALES

ZONING

DISTRICT: M - 2, MANUFACTURING

SITE USE

BUILD A NEW ADDITION M - 2, MANUFACTURING BUILDING ADDITION .

SITE ADDRESS

13487 COUNTY ROAD 22, MIDDLEBURY, IN 46540

AREA, BUILDING AND SETBACK INFORMATION

SITE AREA 102,090 SFT, 2.34 ACRES.

BUILDING

MAXIMUM STRUCTURE HEIGHT: 40'
MAXIMUM LOT COVERAGE: DO NOT EXCEED 65% OF LOT AREA
MINIMUM MAIN FLOOR AREA: 1,440 SQ. FT. PER PRIMARY STRUCTURE.
MINIMUM FLOOR AREA PER UNIT: 720 SQ. FT. AVERAGE PER DWELLING UNIT.

EXISTING

FRONT SETBACK (FT) 75' FEET FROM CENTER LINE OF CR 22
SIDE SETBACK (FT) 25'
SIDE YARD SETBACK (ADJ. TO RESIDENTIAL) 50 FEET (NOT USED FOR RESIDENCE)
REAR SETBACK (FT) 15'

SOIL TYPE ON SITE

CrA: CROSIER LOAM, 0 TO 2 PERCENT SLOPES
KoA: KOSCIUSKO-ORMAS COMPLEX, 0 TO 2 PERCENT SLOPES

Proposed Description

D & M SALES DPUD

A PARCEL OF LAND BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 7 EAST, MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA AS SHOWN ON A SURVEY BEARING JOB NUMBER 251268, PREPARED AND CERTIFIED BY J. BERNARD FEENEY, PROFESSIONAL SURVEYOR #80040309 ON SEPTEMBER 10, 2025 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE PLAT OF D & M SALES DPUD RECORDED IN PLAT VOLUME 32, PAGE 25 IN THE RECORDS OF THE ELKHART COUNTY RECORDER, SAID BEGINNING POINT BEING LOCATED IN THE CENTERLINE OF COUNTY ROAD 22; THENCE SOUTH 75°59'45" WEST (ALL BEARINGS SHOWN HEREIN ARE RELATIVE TO INDIANA STATE PLANE COORDINATES AS DETERMINED FROM HICORS, EAST ZONE), ALONG SAID CENTERLINE, A DISTANCE OF 239.59 FEET TO THE SOUTHEAST CORNER OF SAID PLAT; THENCE NORTH 0°34'03" WEST ALONG THE WEST LINE OF SAID PLAT, A DISTANCE OF 193.24 FEET TO A POINT; THENCE SOUTH 89°25'57" WEST, A DISTANCE OF 9.10 FEET TO A POINT; THENCE NORTH 1°02'40" WEST ALONG A LINE EQUIDISTANT FROM TWO ADJACENT BUILDINGS, A DISTANCE OF 97.27 FEET TO A POINT; THENCE SOUTH 88°57'20" WEST A DISTANCE OF 21.28 FEET; THENCE NORTH 0°34'03" WEST PARALLEL WITH SAID WEST LINE OF LOT 1 IN SAID PLAT, A DISTANCE OF 285.14 FEET TO A POINT; THENCE NORTH 89°05'30" EAST A DISTANCE OF 23.93 FEET TO A POINT THAT IS 1 FOOT EAST OF AN EXISTING FENCE LINE; THENCE NORTH 0°43'01" WEST, PARALLEL WITH AND 1 FOOT DISTANT FROM SAID FENCE LINE A DISTANCE OF 516.74 FEET TO THE NORTH LINE OF LANDS CONVEYED TO DEVON AND MATTIE MILLER BY INSTRUMENT NUMBER 2000-20816 IN SAID ELKHART COUNTY RECORDER'S OFFICE; THENCE SOUTH 89°55'32" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 241.65 FEET TO THE NORTHEAST CORNER OF SAID MILLER LANDS; THENCE SOUTH 0°34'03" EAST ALONG THE EAST LINE OF SAID MILLER LANDS AND ALONG THE EAST LINE OF SAID PLAT OF D & M SALES DPUD, A DISTANCE OF 1034.01 FEET TO THE PLACE OF BEGINNING CONTAINING 6.02 ACRES MORE OR LESS.



WIGHTMAN

1405 N. MICHIGAN ST.
PLYMOUTH, IN. 46563
574.936.3469

www.gowightman.com

PROJECT NAME:

D & M PLYWOOD SALES
13487 COUNTY ROAD 22
MIDDLEBURY, IN 46540

JAMES HOCHSTETLER
7165 W 650 N
SHIPSHAWANA, IN 46565

9/15/2025 - REVISIONS PER TRC

9/5/2025 - REVISION PER TODD CLARK

REVISIONS

THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED.
© 2025 WIGHTMAN & ASSOCIATES, INC.

DATE: 07/21/2025

SCALE: 1" = 1000'

DRAWN BY: SSH

CHECKED BY: BF

COVER SHEET

JOB No. 251268

1 OF 9

J. Bernard Feeney
J. BERNARD FEENEY
PS #80040309
bfeeney@gowightman.com



NOTES:

- PROPERTY ADDRESS: 13487 COUNTY ROAD 22, MIDDLEBURY, INDIANA 46540
- CURRENT ZONING: P.U.D. M-2 (MANUFACTURING)
BUILDING SETBACKS:
FRONT YARD = 75 FEET FROM CENTER LINE OF CR 22
SIDE YARD = 25 FEET
REAR YARD = 15 FEET
SIDE YARD (ADJ. TO RESIDENTIAL) = 50 FEET (ADJ. PROPERTY NOT USED FOR RESIDENCE)
PARKING SETBACKS:
FRONT YARD = 15 FEET FROM PROPERTY LINE OR 55 FEET FROM CENTERLINE OF COUNTY ROAD 22, WHICHEVER GREATER.
- CURRENT USE: MANUFACTURING AND DISTRIBUTION
- PROPOSED USE: MANUFACTURING AND DISTRIBUTION
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON SITE. THE CONTRACTOR SHALL NOTIFY THE SURVEYOR IMMEDIATELY OF ANY DISCREPANCIES.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL PROPOSED BUILDING DIMENSIONS.
- BARBED WIRE, RAZOR WIRE AND ELECTRIFIED FENCES SHALL NOT BE PERMITTED.
- DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE.
- THE SITE SHALL CONFORM TO THE AREA, HEIGHT, AND DEVELOPMENT REGULATIONS OF THE D.P.U.D. M - 2, MANUFACTURING DISTRICT.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

D & M SALES DPUD 1ST AMENDMENT

PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 7 EAST, MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA

LEGAL DESCRIPTION

LOT 1 OF D & M SALES D.P.U.D. M-2 AS SHOWN IN PLAT 32, PAGE 25, INSTRUMENT NO. 2007-29367.

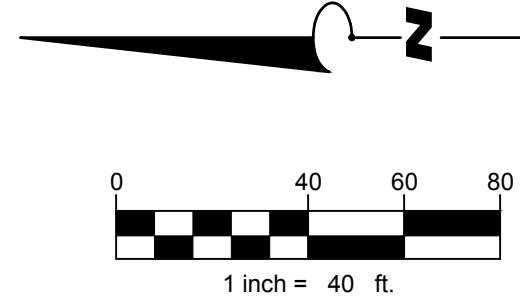
PRE CONSTRUCTION - TABULATED DATA

(INFORMATION FROM PREVIOUS D & M PLYWOOD SALES D.P.U.D.
SITE PLAN PERFORMED BY ABONMARCHÉ, JOB NO. 19-0256)

	SFT	ACREAGE	%
BUILDINGS	27,130.0	0.6	22.9
HARDSPACE & GRAVEL	32,334.0	0.7	27.5
OPEN AREA	58,770.0	1.3	49.6
TOTAL	118,234.0	2.6	100.0

LEGEND

- = FOUND IRON
- = SET 5/8" REBAR W/ CAP FIRM NO. 0145 (FLUSH)
- ▲ = CONTROL POINT
- ▽ = SET MAG NAIL
- ⊞ = COMMUNICATION VAULT
- ⚡ = POWER POLE
- RP = RED PAINT-ELECTRIC
- YP = YELLOW PAINT-GAS
- G — = APPROXIMATE BURIED GAS
- E — = APPROXIMATE BURIED ELECTRIC
- +—+—+— = FENCE LINE
- ⊙ = DECIDUOUS TREE



LINE TABLE		
LINE NO.	BEARING	LENGTH
L1	S89°25'57"W	9.10'
L2	S88°57'20"W	21.28'
L3	N89°05'30"E	23.93'

ZONING - ELKHART COUNTY ZONING ORDINANCE

EXISTING SITE IS "P.U.D. M-2" (MANUFACTURING) AND ADJACENT ZONING TO THE WEST, NORTH, AND SOUTH IS "A-1" AND M-2 MANUFACTURING (RESIDENTIAL AND AGRICULTURE USE).

SANITARY SEWER & WATER

THE EXISTING BUILDING IS CURRENTLY SERVICED BY AN EXISTING ONSITE SEPTIC SYSTEM LOCATED ON SITE. THIS SEPTIC SYSTEM SHALL REMAIN IN USE. THERE PROPOSED BUILDING SHALL CONTINUE TO UTILIZE THE EXISTING WATER WELL WELL SHOWN ON PLAN. NO ADDITIONAL WATER IS ANTICIPATED. ALL PERMITS SHALL BE OBTAINED TO CONTINUE TO UTILIZE THE WELL FOR THE NEW ADDITION.

LANDSCAPE

THERE IS NO NEW LANDSCAPING PROPOSED FOR THIS PROJECT AS ADJOINING PROPERTY IN NON-RESIDENTIAL TO THE WEST AND AGRICULTURAL TO THE NORTH AND M-2 MANUFACTURING TO THE EAST.

SIGN

THERE IS NO NEW SIGNAGE REQUESTED FOR THIS PROJECT.

STORAGE

THERE WILL BE NO OUTSIDE STORAGE AND DISPLAY.

EMPLOYEES

THE NUMBER OF EMPLOYEES WILL NOT CHANGE, THEY WILL HAVE THE SAME AMOUNT OF EMPLOYEES.

DAY AND HOURS OF OPERATION

MONDAY - FRIDAY, 6 A.M. TO 4 P.M.

ADDITIONAL NOTES:

- ADJACENT ZONING TO THE WEST, NORTH, AND SOUTH IS "A-1" AND INDUSTRIAL (RESIDENTIAL AND AGRICULTURE USE).
- THERE IS NO MINIMUM REQUIRED SIGN SET BACK (BEING A NON MAJOR ROAD OR FEDERAL/ STATE HIGHWAY).
- THERE WILL BE NO OUTSIDE STORAGE AND DISPLAY.
- THERE IS NO OFFSITE WELL, SEPTIC, AND RESERVE AREA WITHIN THE 100' REZONING AREA.
- ALL** PROPOSED PRIVATE SYSTEMS MUST BE OUTSIDE THE RIGHT - OF - WAY.



WIGHTMAN

1405 N. MICHIGAN ST.
PLYMOUTH, IN. 46563
574.936.3469

www.gowightman.com

PROJECT NAME:

D & M PLYWOOD SALES
COUNTY ROAD 22
MIDDLEBURY, IN 46540

JAMES HOCHSTETLER

7165 W 650 N
SHIPSHAWANA, IN 46565

9/15/2025 - REVISIONS PER TRC
9/5/2025 - REVISION PER TODD CLARK

REVISIONS

DATE: 7/25/2025
SCALE: 1" = 40'
DRAWN BY: SSH
CHECKED BY: BF

EXISTING
SITE PLAN

JOB NO. 251268

2 OF 9

NOTES:

1. PROPERTY ADDRESS: 13487 COUNTY ROAD 22, MIDDLEBURY, INDIANA 46540
2. CURRENT ZONING: P.U.D. M-2 (MANUFACTURING)
- BUILDING SETBACKS:**
- FRONT YARD = 75 FEET FROM CENTER LINE OF CR 22
- SIDE YARD = 25 FEET
- REAR YARD = 15 FEET
- SIDE YARD (ADJ. TO RESIDENTIAL) = 50 FEET (NOT USED FOR RESIDENCE)
- PARKING SETBACKS:**
- FRONT YARD = 15 FEET FROM PROPERTY LINE OR 55 FEET FROM CENTERLINE OF COUNTY ROAD 22, WHICHEVER GREATER.

3. CURRENT USE: MANUFACTURING AND DISTRIBUTION
4. PROPOSED USE: MANUFACTURING AND DISTRIBUTION
5. CONTRACTOR TO FIELD VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON SITE. THE CONTRACTOR SHALL NOTIFY THE SURVEYOR IMMEDIATELY OF ANY DISCREPANCIES.
6. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, UNLESS NOTED OTHERWISE.
7. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL PROPOSED BUILDING DIMENSIONS.
8. BARBED WIRE, RAZOR WIRE AND ELECTRIFIED FENCES SHALL NOT BE PERMITTED.
9. DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE.
10. THE SITE SHALL CONFORM TO THE AREA, HEIGHT, AND DEVELOPMENT REGULATIONS OF THE D.P.U.D. M - 2, MANUFACTURING DISTRICT.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

D & M SALES DPUD

1ST AMENDMENT

PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 7 EAST, MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA

PRE CONSTRUCTION - TABULATED DATA
(INFORMATION FROM PREVIOUS D & M PLYWOOD SALES D.P.U.D.
SITE PLAN PERFORMED BY ABONMARCHÉ, JOB NO. 19-0256)

	SFT	ACREAGE	%
BUILDINGS	27,130.0	0.6	22.9
HARDSPACE & GRAVEL	32,334.0	0.7	27.5
OPEN AREA	58,770.0	1.3	49.6
TOTAL	118,234.0	2.6	100.0

LEGAL DESCRIPTION

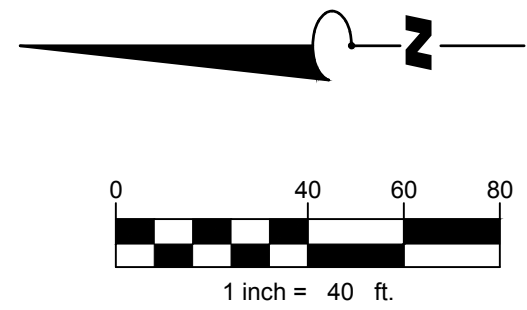
LOT 1 OF D & M SALES D.P.U.D. M-2 AS SHOWN IN PLAT 32, PAGE 25, INSTRUMENT NO. 2007-29367.

ADDITIONAL NOTES:

- ADJACENT ZONING TO THE WEST, NORTH, AND SOUTH IS "A-1" AND INDUSTRIAL (RESIDENTIAL AND AGRICULTURE USE).
- THERE IS NO MINIMUM REQUIRED SIGN SET BACK (BEING A NON MAJOR ROAD OR FEDERAL/ STATE HIGHWAY).
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- THERE IS NO OFFSITE WELL, SEPTIC, AND RESERVE AREA WITHIN THE 100' REZONING AREA.
- ALL** PROPOSED PRIVATE SYSTEMS MUST BE OUTSIDE THE RIGHT - OF - WAY.

ADDITIONAL NOTES

- ALL FILL SHALL BE CLEAR GRANCELAR MATERIAL FROM THIS SITE.
- FILL SHALL BE USED FROM PROPOSED RETENTION AREA TO BACKFILL EXISTING RETENTION
- EXISTING RETENTION BASIN SHALL BE DRAINED OF ALL STANDING WATER
- ANY SILT FOUND IN BOTTOM OF EXISTING RETENTION SHALL BE REMOVED.
- NO TOPSOIL FROM PROPOSED RETENTION AREA SHALL BE USED AS ANY SITE BACKFILL
- ALL MATERIAL USED TO BACKFILL THE EXISTING RETENTION AREA SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 98% STANDARD PROCTOR
- ALL FILL MATERIAL PLACED IN FOUNDATION AREA AND TRUCK DOCK AREA SHALL BE TESTED FOR ITS SUITABILITY.
- ALL SOIL TESTING RESULTS ARE TO BE SUBMITTED TO THIS OFFICE PRIOR TO ANY CONCRETE POUR



LEGEND

- = FOUND IRON
- = SET 5/8" REBAR W/ CAP FIRM NO. 0145 (FLUSH)
- ▲ = CONTROL POINT
- ▷ = SET MAG NAIL
- ▣ = COMMUNICATION VAULT
- ⌋ = POWER POLE
- RP = RED PAINT-ELECTRIC
- YP = YELLOW PAINT-GAS
- G — = APPROXIMATE BURIED GAS
- E — = APPROXIMATE BURIED ELECTRIC
- X — = FENCE LINE
- = DECIDUOUS TREE

LINE TABLE		
LINE NO.	BEARING	LENGTH
L1	S89°25'57"W	9.10'
L2	S88°57'20"W	21.28'
L3	N89°05'30"E	23.93'

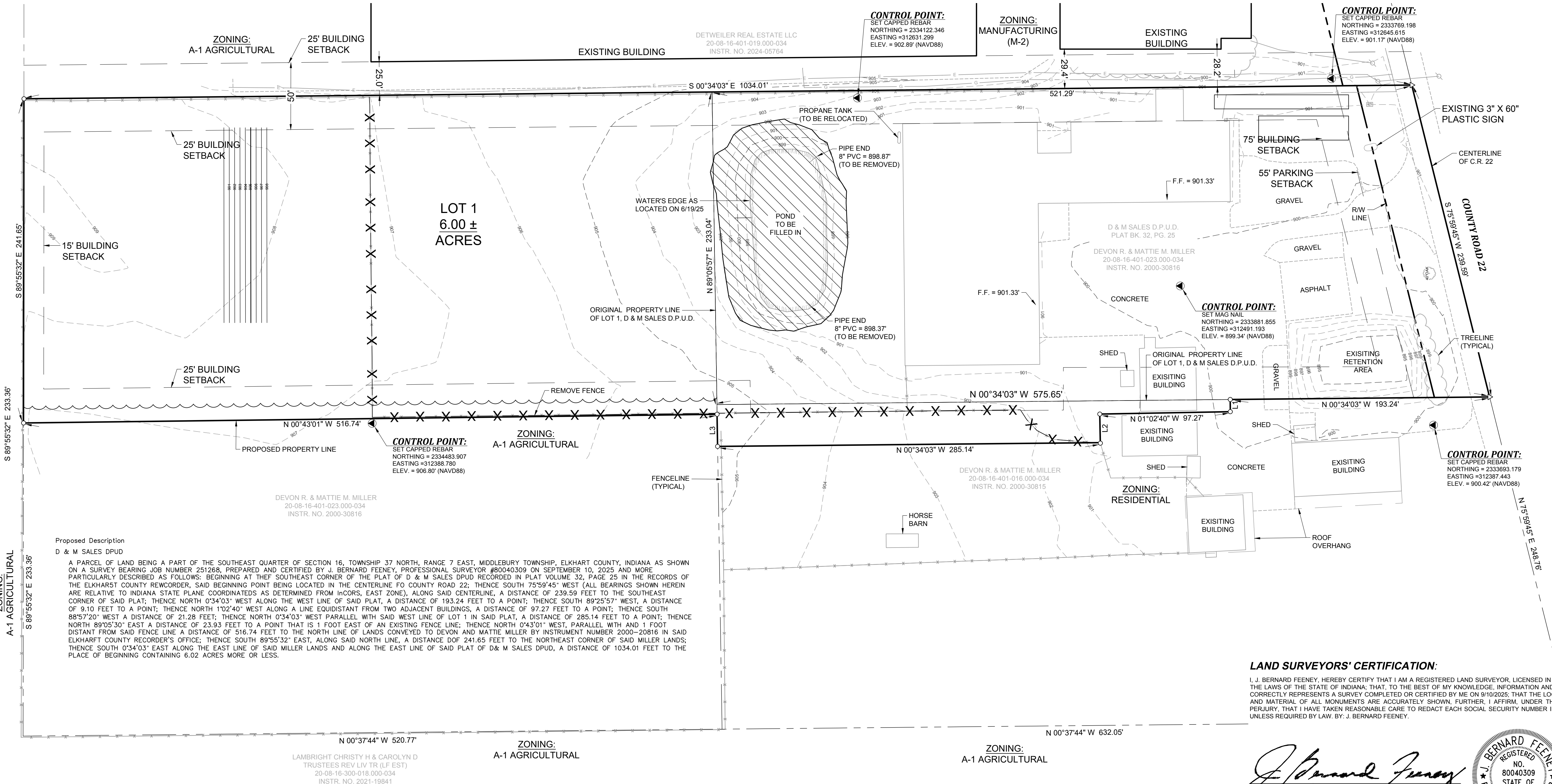
DEMOLITION LEGEND

--- = CONSTRUCTION LIMITS

X X X = EXISTING FENCE TO BE REMOVED

[Hatched Box] = TEMPORARY CONSTRUCTION ENTRANCE

[Diagonal Lines Box] = REMOVAL / CLEARING AREA



LAND SURVEYORS' CERTIFICATION:

I, J. BERNARD FEENEY, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THIS PLAT CORRECTLY REPRESENTS A SURVEY COMPLETED OR CERTIFIED BY ME ON 9/10/2025; THAT THE LOCATION, SIZE, TYPE AND MATERIAL OF ALL MONUMENTS ARE ACCURATELY SHOWN, FURTHER, I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. BY: J. BERNARD FEENEY.

J. Bernard Feeney
J. BERNARD FEENEY
P.S. #80040309
bfreeney@gowightman.com



W+
WIGHTMAN
1405 N. MICHIGAN ST.
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PROJECT NAME:

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MIDDLEBURY, IN 46540

JAMES HOCHSTETLER
7165 W 650 N
SHIPSHAWAN, IN 46565

9/15/2025 - REVISIONS PER TRC
9/5/2025 - REVISION PER TODD CLARK

REVISIONS
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DATE: 7/25/2025
SCALE: 1" = 40'
DRAWN BY: SSH
CHECKED BY: BF

DEMOLITION PLAN

JOB NO. 251268

3 OF 9

ZONING - ELKHART COUNTY ZONING ORDINANCE

EXISTING SITE IS "P U.D. M-2" (MANUFACTURING) AND ADJACENT ZONING TO THE WEST, NORTH, AND SOUTH IS "A-1" AND M-2 MANUFACTURING (RESIDENTIAL AND AGRICULTURE USE).

SANITARY SEWER & WATER

THE EXISTING BUILDING IS CURRENTLY SERVICED BY AN EXISTING ONSITE SEPTIC SYSTEM LOCATED NEAR THE SOUTHEAST CORNER OF THE PROPERTY. THIS SEPTIC SYSTEM SHALL REMAIN IN USE, BECAUSE THE NUMBER OF EMPLOYEES IS NOT EXPECTED TO CHANGE. THERE SHOULD BE NO PROBLEMS WITH THE EXISTING SEPTIC SYSTEM. THE PROPOSED BUILDING SHALL CONTINUE TO UTILIZE THE EXISTING WATER PROVIDED BY A WELL TO WEST. NO ADDITIONAL WATER IS ANTICIPATED. ALL PERMITS SHALL BE OBTAINED TO CONTINUE TO UTILIZE THE EXISTING WELL ARRANGEMENT FOR THE NEW ADDITION.

LANDSCAPE

THERE IS NO NEW LANDSCAPING PROPOSED FOR THIS PROJECT AS ADJOINING PROPERTY IN NON-RESIDENTIAL TO THE WEST AND AGRICULTURAL TO THE NORTH AND M-2 MANUFACTURING TO THE EAST.

LIGHTING

5 NEW WALL PACK LIGHTS WILL BE INSTALLED ON PROPOSED BUILDING (SEE DRAWING FOR DETAIL)

SIGN

THERE IS NO NEW SIGNAGE REQUESTED FOR THIS PROJECT.

STORAGE

THERE WILL BE NO OUTSIDE STORAGE AND DISPLAY.

EMPLOYEES

THE NUMBER OF EMPLOYEES WILL NOT CHANGE, THEY WILL HAVE THE SAME NUMBER OF EMPLOYEES.

DAY AND HOURS OF OPERATION

MONDAY - FRIDAY, 6 A.M TO 4 P.M

ADDITIONAL NOTES:

- ADJACENT ZONING TO THE WEST, NORTH, AND SOUTH IS "A-1" AND INDUSTRIAL (RESIDENTIAL AND AGRICULTURE USE).
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ADDITIONAL NOTES

- ALL FILL SHALL BE CLEAN GRANULAR MATERIAL FROM THIS SITE.
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NOTES:

1. PROPERTY ADDRESS: 13487 COUNTY ROAD 22, MIDDLEBURY, INDIANA 46540

2. CURRENT ZONING: P.U.D. M-2 (MANUFACTURING)

BUILDING SETBACKS:

FRONT YARD = 75 FEET FROM CENTER LINE OF CR 22
SIDE YARD = 15 FEET
REAR YARD = 15 FEET
SIDE YARD (ADJ. TO RESIDENTIAL) = 50 FEET (NOT USED FOR RESIDENCE)

PARKING SETBACKS:

FRONT YARD = 15 FEET FROM PROPERTY LINE OR 55 FEET FROM CENTERLINE OF COUNTY ROAD 22, WHICHEVER GREATER.

3. CURRENT USE: MANUFACTURING AND DISTRIBUTION

4. PROPOSED USE: MANUFACTURING AND DISTRIBUTION

5. CONTRACTOR TO FIELD VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON SITE. THE CONTRACTOR SHALL NOTIFY THE SURVEYOR IMMEDIATELY OF ANY DISCREPANCIES.

6. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, UNLESS NOTED OTHERWISE.

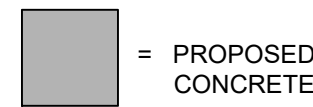
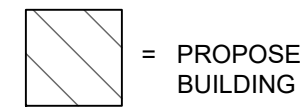
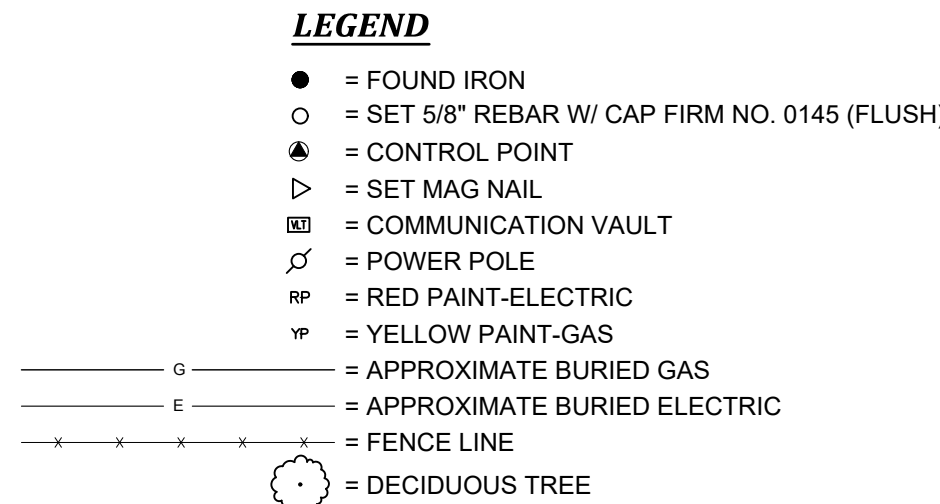
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NEW CONSTRUCTION - TABULATED DATA

	SFT	ACREAGE	%
BUILDINGS	24,000	0.55	23.5
LOADING DOCK	1,200	0.03	1.2
CONCRETE	23,134	0.53	22.7
OPEN AREA	53,756	1.23	52.6
TOTAL	102,090	2.34	100.0

PRE CONSTRUCTION - TABULATED DATA

(INFORMATION FROM PREVIOUS D & M PLYWOOD SALES D.P.U.D. SITE PLAN PERFORMED BY ABONMARCHÉ, JOB NO. 19-0256)

	SFT	ACREAGE	%
BUILDINGS	27,130.0	0.6	22.9
HARDSPACE & GRAVEL	32,334.0	0.7	27.5
OPEN AREA	58,770.0	1.3	49.6
TOTAL	118,234.0	2.6	100.0

REQUIRED PARKING

	SQFT	REQUIRED SPACES
OFFICE	200	0.67
OUTDOOR STORAGE	1,200	1.2
EXISTING BUILDING	26,250	10.5
PROPOSED BUILDING	25,200	10.1
TOTAL	52,850	22.47

REQUIRED	22
PROVIDED	22

WAIVER REQUEST

WAIVER IS HEREBY REQUESTED FROM THE LANDSCAPING ORDINANCE RELATIVE TO AN M-2 USE ADJACENT TO A RESIDENTIAL USE. THE REAR (NORTH) HALF OF THE LINE BETWEEN THE M-2 USE AND RESIDENTIAL USE IS PROPOSED FOR LANDSCAPING. HOWEVER, DUE TO DISTANCE AND AREA CONSTRAINTS FOR EXISTING STRUCTURES AND PROPOSED MANEUVERING ROOM FOR SEMI TRUCKS, WE WOULD REQUEST THAT VARIANCE BE GRANTED FROM LANDSCAPING FRONT HALF OF THE COMMON PROPERTY LINE. THIS REQUEST IS REASONABLE AND APPROPRIATE DUE TO THE FACT THAT THE PROPERTY OWNERS FOR BOTH PIECES OF LAND ARE VIRTUALLY THE SAME - CORPORATE AND PERSONAL. THEY HAVE REMAINED THAT WAY THROUGHOUT THE LIFE OF THE BUSINESS AND ARE EXPECTED TO REMAIN THAT WAY FOR GENERATIONS TO COME.

www.gowightman.com

PROJECT NAME:

D & M PLYWOOD SALES
COUNTY ROAD 22
MIDDLEBURY, IN 46540

JAMES HOCHSTETLER
7165 W 650 N
SHIPSHAWANA, IN 46565

9/15/2025 - REVISIONS PER TRC

9/5/2025 - REVISION PER TODD CLARK

REVISIONS

THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED.
© 2022 WIGHTMAN & ASSOCIATES, INC.

DATE: 7/25/2025

SCALE: 1" = 40'

DRAWN BY: SSH

CHECKED BY: BF

PROPOSED SITE
PLAN

JOB NO. 251268

NOTES:

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D & M SALES DPUD 1ST AMENDMENT

PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 7 EAST,
MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA

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(INFORMATION FROM PREVIOUS D & M PLYWOOD SALES D.P.U.D.
SITE PLAN PERFORMED BY ABONMARCHÉ, JOB NO. 19-0256)

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STORAGE VOLUME CALCULATIONS
(INFORMATION FROM PREVIOUS D & M PLYWOOD SALES D.P.U.D.
SITE PLAN PERFORMED BY ABONMARCHÉ, JOB NO. 19-0256)

DEVELOPED CONDITION
ESTIMATED TIME OF CONCENTRATION = 15 MIN.
STORM EVENT = 10 YEAR, 24 HOUR STORM
DEVELOPED RUNOFF RATE:
Q = CIA
= 0.41(0.22 IN/HR)(3.2 AC.)
= 0.290 CFS
= 0.290 CFS(3600 SEC/HR)(24 HR)
= 25,021 CU FT

STORAGE VOLUME CALCULATIONS

C_{comp} = 0.56
= 5.72 / 24
Q = CIA
= 0.56(0.238)(2.34)
= 0.3124 CFS
= 26,988 CU FT (1.06)
= 28,607 CU FT REQUIRED

LEGEND

- = FOUND IRON
- = SET 5/8" REBAR W/ CAP FIRM NO. 0145 (FLUSH)
- ▲ = CONTROL POINT
- ▷ = SET MAG NAIL
- = COMMUNICATION VAULT
- ⋈ = POWER POLE
- ⋈ = RED PAINT-ELECTRIC
- ⋈ = YELLOW PAINT-GAS
- = APPROXIMATE BURIED GAS
- = APPROXIMATE BURIED ELECTRIC
- = FENCE LINE
- = DECIDUOUS TREE
- ▨ = PROPOSE BUILDING
- = PROPOSE CONCRETE

LEGAL DESCRIPTION

LOT 1 OF D & M SALES D.P.U.D. M-2 AS SHOWN IN PLAT 32, PAGE 25, INSTRUMENT NO. 2007-29367.

TOTAL BASIN CAPACITY REQUIRED

28,600 CU FT (PROPOSED CONSTRUCTION)
25,021 CU FT (ABONMARCHÉ D & M PLYWOOD SALES D.P.U.D., JOB NO. 19-0256)
53,621 CU FT TOTAL REQUIRED

PROPOSED BASIN STORAGE

TOP OF BASIN = 901.0
TOP OF STORAGE = 900.5
BOTTOM OF BASIN = 896.5

PROPOSED BANK SLOPES = (4:1)

= (17839 SF + 10,342 SF) (4)
2

= 56,162 CU FT CAPACITY = 105% OF REQUIRED

DETWEILER REAL ESTATE LLC
20-08-16-401-019 000-034
INSTR. NO. 2024-05764

WIDTH VARIES
DEPTH VARIES
TYPICAL SWALE DETAIL
NOT TO SCALE
SWALE TO BE HYDRO-SEEDED AFTER EXCAVATION

0 40 60 80
1 inch = 40 ft.

Precipitation Frequency Data Server
https://data.ncma.gov/pdfs/gpingspandata-1455764...

NOAA Atlas 14, Volume 2, Version 3
Location: Evansville, Indiana, USPT
Latitude: 41.867° Longitude: -88.224°
Elevation: 325 ft
Time: 10:00
Time Zone: EST

POINT PRECIPITATION FREQUENCY ESTIMATES
USDA-NRCS, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 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D & M SALES DPUD 1ST AMENDMENT

PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 7 EAST,
MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA

ZONING - ELKHART COUNTY ZONING ORIDANCE

EXISTING SITE IS "P U.D. M-2" (MANUFACTURING) AND ADJACENT ZONING TO THE WEST, NORTH, AND SOUTH IS "A-1" AND M-2 MANUFACTURING (RESIDENTIAL AND AGRICULTURE USE).

SANITARY SEWER & WATER

THE EXISTING BUILDING IS CURRENTLY SERVICED BY AN EXISTING ONSITE SEPTIC SYSTEM LOCATED ON SITE. THIS SEPTIC SYSTEM SHALL REMAIN IN USE. THERE PROPOSED BUILDING SHALL CONTINUE TO UTILIZE THE EXISTING WATER WELL. WELL SHOWN ON PLAN. NO ADDITIONAL WATER IS ANTICIPATED. ALL PERMITS SHALL BE OBTAINED TO CONTINUE TO UTILIZE THE WELL FOR THE NEW ADDITION.

LANDSCAPE

THERE IS NO NEW LANDSCAPING PROPOSED FOR THIS PROJECT AS ADJOINING PROPERTY IN NON-RESIDENTIAL TO THE WEST AND AGRICULTURAL TO THE NORTH AND M-2 MANUFACTURING TO THE EAST.

LIGHTING

5 NEW WALL PACK LIGHTS WILL BE INSTALLED ON PROPOSED BUILDING (SEE DRAWING FOR DETAIL).

SIGN

THERE IS NO NEW SIGNAGE REQUESTED FOR THIS PROJECT.

STORAGE

THERE WILL BE NO OUTSIDE STORAGE AND DISPLAY.

EMPLOYEES

THE NUMBER OF EMPLOYEES WILL NOT CHANGE, THEY WILL HAVE THE SAME AMOUNT OF EMPLOYEES.

DAY AND HOURS OF OPERATION

MONDAY - FRIDAY, 6 A.M TO 4 P.M

ADDITIONAL NOTES

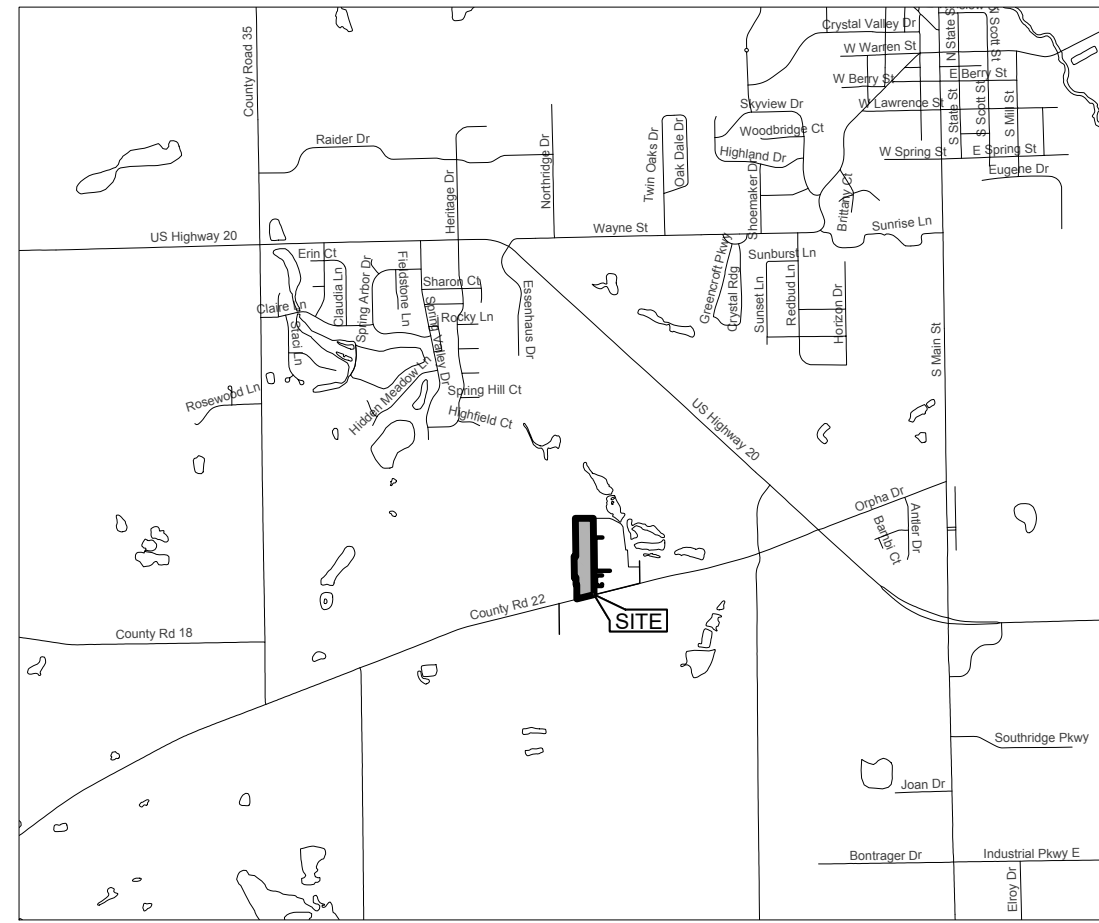
- ALL FILL SHALL BE CLEAR GRANCELAR MATERIAL FROM THIS SITE.
- FILL SHALL BE USED FROM PROPOSED RETENTION AREA TO BACKFILL EXISTING RETENTION
- EXISTING RETENTION BASIN SHALL BE DRAINED OF ALL STANDING WATER.
- ANY SILT FOUND IN BOTTOM OF EXISTING RETENTION SHALL BE REMOVED.
- NO TOPSOIL FROM PROPOSED RETENTION AREA SHALL BE USED AS ANY SITE BACKFILL.
- ALL MATERIAL USED TO BACKFILL THE EXISTING RETENTION AREA SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 98% STANDARD PROCTOR.
- ALL FILL MATERIAL PLACED IN FOUNDATION AREA AND TRUCK DOCK AREA SHALL BE TESTED FOR ITS SUITABILITY.
- ALL SOIL TESTING RESULTS ARE TO BE SUBMITTED TO THIS OFFICE PRIOR TO ANY CONCRETE POUR

EROSION CONTROL LEGEND

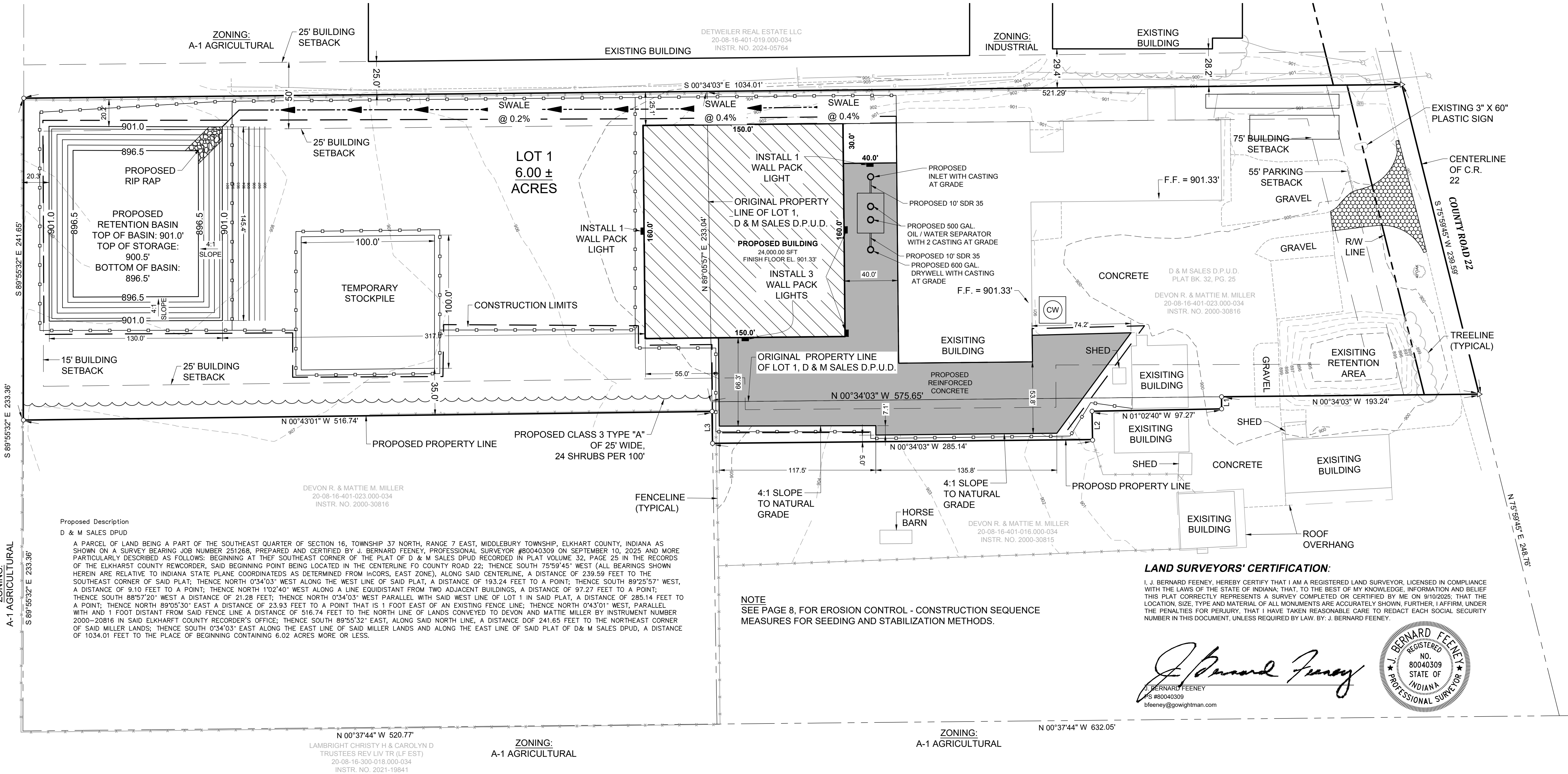
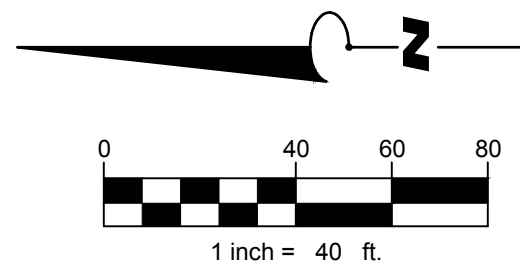
- = ROCK CHECK DAM
- = FLOW
- = TURNING TEMPLATE FOR DELIVERY DRIVERS
- = SILT SOCK OR FENCE
- = CONSTRUCTION LIMITS
- = TEMPORARY CONSTRUCTION ENTRANCE
- = INLET PROTECTION
- = CONCRETE WASHOUT AREA

LEGEND

- = FOUND IRON
- = SET 5/8" REBAR W/ CAP FIRM NO. 0145 (FLUSH)
- = CONTROL POINT
- = SET MAG NAIL
- = COMMUNICATION VAULT
- = POWER POLE
- = RED PAINT-ELECTRIC
- = YELLOW PAINT-GAS
- = APPROXIMATE BURIED GAS
- = APPROXIMATE BURIED ELECTRIC
- = FENCE LINE
- = DECIDUOUS TREE
- = PROPOSED BUILDING
- = PROPOSED CONCRETE



VICINITY MAP
NOT TO SCALE



NOTE
SEE PAGE 8, FOR EROSION CONTROL - CONSTRUCTION SEQUENCE
MEASURES FOR SEEDING AND STABILIZATION METHODS.

LAND SURVEYORS' CERTIFICATION:

I, J. BERNARD FEENEY, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THIS PLAT CORRECTLY REPRESENTS A SURVEY COMPLETED OR CERTIFIED BY ME ON 9/10/2025; THAT THE LOCATION, SIZE, TYPE AND MATERIAL OF ALL MONUMENTS ARE ACCURATELY SHOWN, FURTHER, I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. BY: J. BERNARD FEENEY.

J. Bernard Feeny
J. BERNARD FEENEY
#80040309
blfeeny@gowightman.com



W+
WIGHTMAN
1405 N. MICHIGAN ST.
PLYMOUTH, IN. 46563
574.936.3469

www.gowightman.com

PROJECT NAME:
D & M PLYWOOD SALES
COUNTY ROAD 22
MIDDLEBURY, IN 46540

JAMES HOCHSTETLER
7165 W 650 N
SHIPSHAWAN, IN 46565

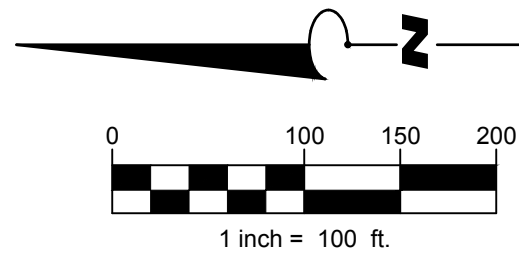
9/15/2025 - REVISIONS PER TRC
9/5/2025 - REVISION PER TODD CLARK

REVISIONS

DATE: 7/25/2025
SCALE: 1" = 40'
DRAWN BY: SSH
CHECKED BY: BF

EROSION
CONTROL
PLAN

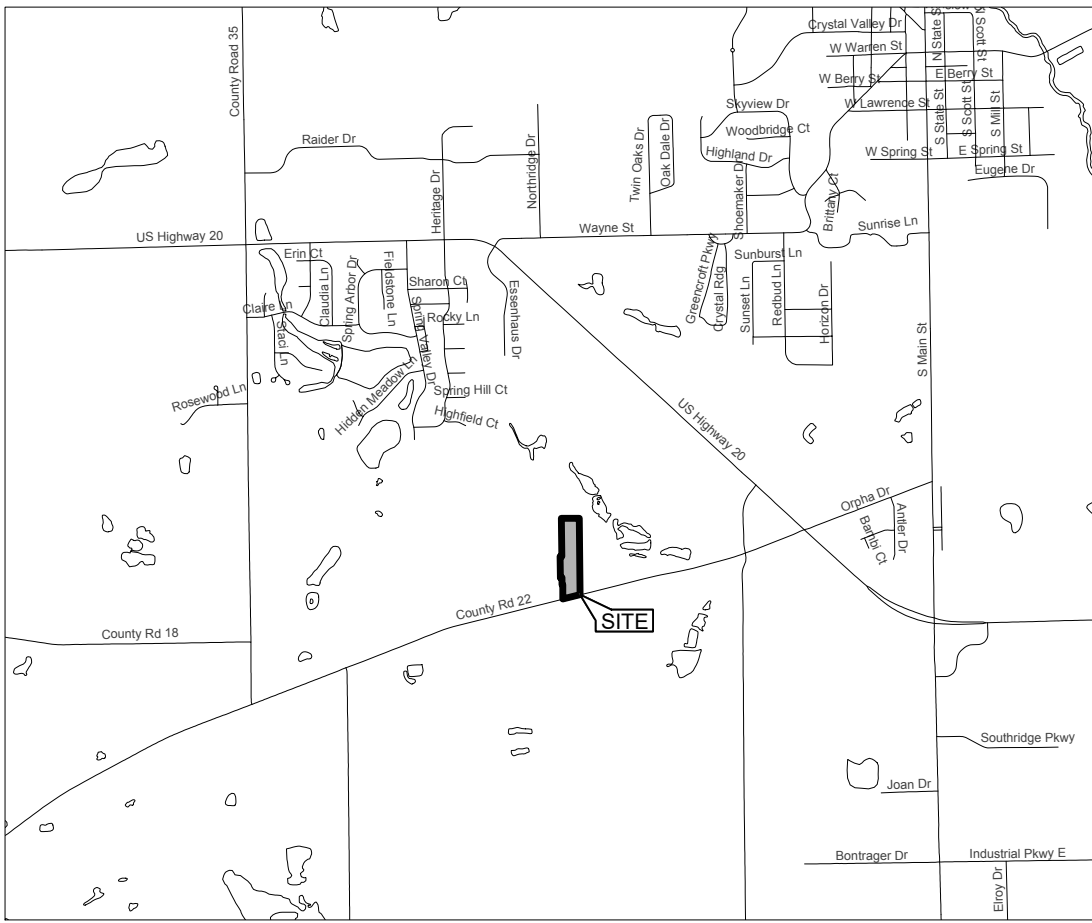
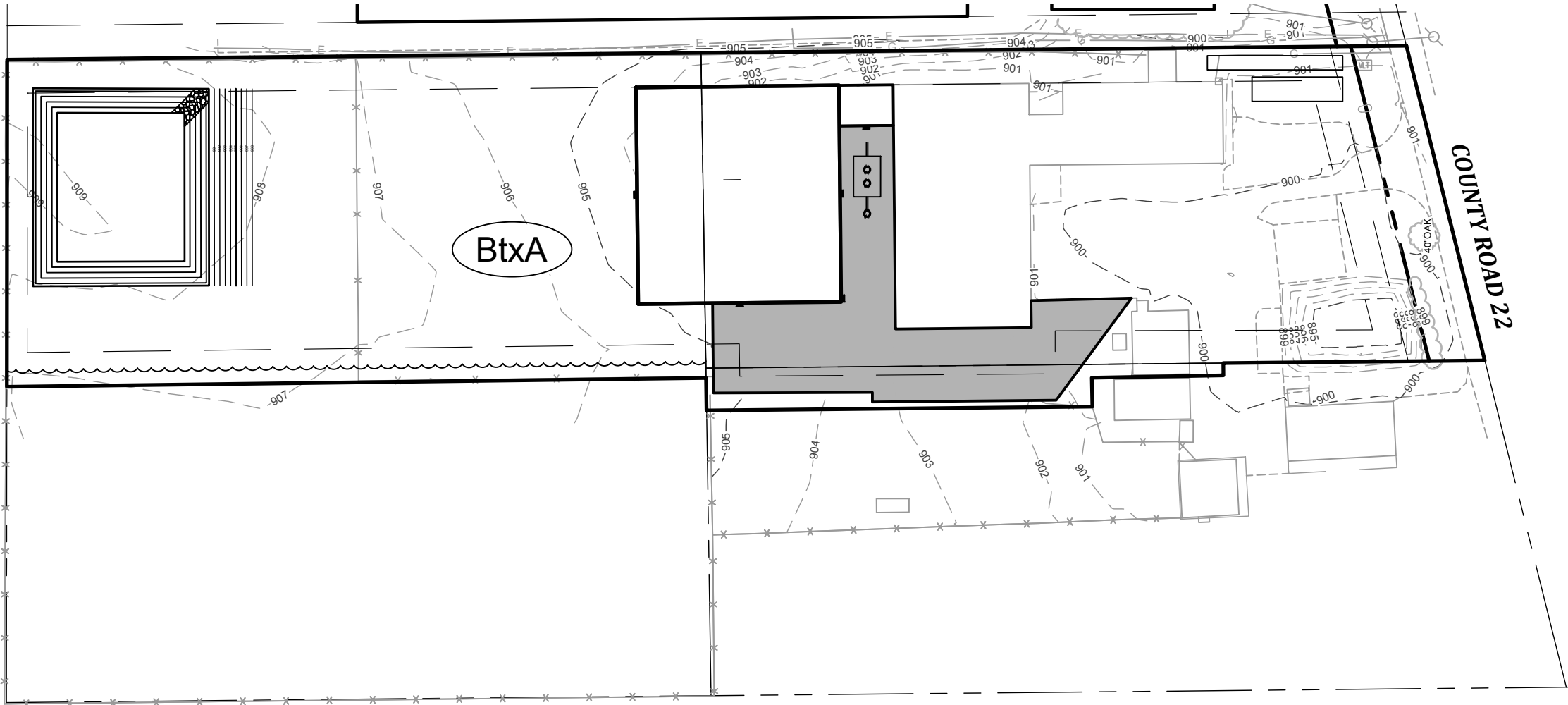
JOB No. 251268
6 OF 9



SOILS DESCRIPTIONS

BtxA - BRISTOL LOAMY SAND, 0 TO 2 PERCENT SLOPES
DESCRIPTION OF BRISTOL
PROPERTIES AND QUALITIES
SLOPE: 0 TO 2 PERCENT
DEPTH TO RESTRICTIVE FEATURE: 40 TO 70 INCHES TO STRONGLY CONTRASTING TEXTURAL STRATIFICATION
DRAINAGE CLASS: EXCESSIVELY DRAINED
RUNOFF CLASS: NEGLIGIBLE
CAPACITY OF THE MOST LIMITING LAYER TO TRANSMIT WATER (KSAT): HIGH TO VERY HIGH (6.00 TO 20.00 IN/HR)
DEPTH TO WATER TABLE: MORE THAN 80 INCHES
FREQUENCY OF FLOODING: NONE
FREQUENCY OF PONDING: NONE
CALCIUM CARBONATE, MAXIMUM CONTENT: 25 PERCENT
AVAILABLE WATER SUPPLY, 0 TO 60 INCHES: LOW (ABOUT 4.6 INCHES)

D & M SALES DPUD
1ST AMENDMENT
PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 7 EAST,
MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA



VICINITY MAP
NOT TO SCALE

SECTION A - BASIC PLAN ELEMENTS

- A1 - PLAN INDEX - SEE COVER SHEET (1 OF 8) OR SEE THE FOLLOWING BELOW.
A2 - VICINITY MAP: ON SHEET 1, 2, 3, 4, 5, AND 6 OF 8.
A3 - NARRATIVE: THIS SITE IS CURRENT IN A D.P.U.D. M-2 AREA, OWNER IS ADDING A BUILDING AND RETENTION BASIN
A4 - LATITUDE: N 41.65645513, LONGITUDE: 85.72357910.
A5 - LEGAL DESCRIPTION: SEE ON SHEET 2, 3, 4, 5, 6
A6 - 11X17 INCH PLAT SHOWING BUILDING LOT NUMBERS/BOUNDARIES AND ROAD LAYOUT NAMES: SUBMITTED UPON REQUEST.
A7 - 100 YEAR FLOODPLAINS, FLOODWAYS, AND FLOODWAY FRINGES: **NONE**, PARCEL IS IN **ZONE X** ACCORDING TO FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. **18039C0186D**, DATED AUGUST 2, 2011 & COMMUNITY PANEL NO. **18039C0188D**, DATED AUGUST 2, 2011.
A8 - ADJACENT LAND USE, INCLUDING UPSTREAM WATERSHED: **NONE**.
A9 - IDENTIFICATION OF A U.S. EPA APPROVED OR ESTABLISHED TMDL: **NONE**.
A10 - IDENTIFICATION OF ALL RECEIVING WATERS: **NONE**.
A11 - IDENTIFICATION OF DISCHARGES TO A WATER ON THE CURRENT 303(d) LIST OF IMPAIRED WATERS AND THE POLLUTANT(S) FOR WHICH IT IS IMPAIRED: **NONE**.
A12 - SOILS MAP INCLUDING SOIL DESCRIPTIONS AND LIMITATIONS: **SEE THIS SHEET**.
A13 - LOCATION AND NAME OF ALL WETLANDS, LAKES AND WATER COURSES ON AND ADJACENT TO THE SITE: **NONE**.
A14 - NOTATION OF ANY STATE OR FEDERAL WATER QUALITY PERMITS: **N/A**
A15 - IDENTIFICATION AND DELINEATION OF EXISTING COVER INCLUDING NATURAL BUFFERS: **GRAVEL AND GRASS**
A16 - EXISTING SITE TOPOGRAPHY AT AN INTERVAL APPROPRIATE TO SHOW DETAIL DRAINAGE PATTERNS: SITE IS RELATIVELY FLAT, **SEE SHEETS 5 & 6**.
A17 - LOCATION(S) WHERE RUN-OFF ENTERS THE PROJECT SITE: **NONE**
A18 - SPECIFIC POINTS WHERE STORM WATER DISCHARGE WILL LEAVE THE SITE: **STORM WATER STAYS ON SITE**.
A19 - LOCATION OF ALL EXISTING STRUCTURES ON THE PROJECT SITE: **SEE SHEET 2**
A20 - EXISTING PERMANENT RETENTION OR DETENTION FACILITIES, INCLUDING MANMADE WETLANDS, DESIGNED FOR THE PURPOSE OF STORMWATER MANAGEMENT: **SEE SHEETS 5 & 6**
A21 - IDENTIFICATION OF POTENTIAL DISCHARGE TO GROUND WATER (ABANDONED WELLS, SINKHOLES, ETC): **NONE**.
A22 - SIZE OF THE PROJECT AREA: **102,090 SFT, 2.34 ACRES**.
A23 - TOTAL EXPECTED LAND DISTURBANCE: **102,090 SFT, 2.34 ACRES**.
A24 - PROPOSED FINAL TOPOGRAPHY AS SHOWN ON **SHEET 5**
A25 - LOCATION AND APPROXIMATE BOUNDARIES OF ALL DISTURBED AREA: SEE CONSTRUCTION LIMITS DESIGNATED ON SHEET 6. (BOUNDARY OF THE SITE) ALL DISTURBED AREAS ARE CONTAINED WITHIN THE DESCRIBED PARCEL.
A26 - LOCATION OF ALL SIZE AND DIMENSIONS OF PROPOSED STORM WATER SYSTEM: ALL PROPOSED STORM STRUCTURE INFORMATION AS SHOWN ON **SHEETS 5 & 6**.
A27 - LOCATIONS OF SPECIFIC POINTS WHERE STORMWATER AND NON-STORMWATER DISCHARGES WILL STAY ON THE PROJECT SITE: **SEE SHEET 5 & 6**
A28 - LOCATION OF ALL PROPOSED SITE IMPROVEMENTS, INCLUDING ROADS, UTILITIES, LOT DELINEATION AND IDENTIFICATION, PROPOSED STRUCTURES, AND COMMON AREAS: **SEE SHEETS 5 & 6**
A29 - LOCATION OF PROPOSED SOIL STOCKPILES, BORROW AND/OR DISPOSAL AREAS: **NONE**.
A30 - CONSTRUCTION SUPPORT ACTIVITIES THAT ARE EXPECTED TO BE PART OF THE PROJECT: **NONE**.
A31 - LOCATION OF ANY IN-STREAM ACTIVITIES THAT ARE PLANNED FOR THE PROJECT INCLUDING, BUT NOT LIMITED TO, STREAM CROSSINGS AND PUMP AROUNDS: **NONE**.

SECTION B - STORMWATER POLLUTION PREVENTION, CONSTRUCTION COMPONENT

- B1 - DESCRIPTION OF POTENTIAL POLLUTANT GENERATION SOURCES AND POLLUTANTS, INCLUDING ALL POTENTIAL NON-STORMWATER DISCHARGES: POTENTIAL POLLUTANT SOURCES INCLUDE WASTE OR UNUSED BUILDING MATERIALS, INCLUDING GARBAGE, DEBRIS, CLEANING SOLVENTS, WASTEWATER, CONCRETE TRUCK WASHOUT, AND OTHER SUBSTANCES BEING CARRIED FROM A PROJECT SITE BY RUN-OFF OR WIND. WASTES AND UNUSED BUILDING MATERIALS SHALL BE MANAGED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE STATUTES AND REGULATIONS. IF A HAZARDOUS MATERIAL SPILL OCCURS, CONTACT THE LOCAL FIRE DEPARTMENT TO DETERMINE WHICH DEPARTMENT HAS JURISDICTION FOR PROPER CLEANUP AND DISPOSAL.
B2 - STABLE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS: **DETAIL ON SHEET 6 & 8**.
B3 - SPECIFICATIONS FOR TEMPORARY AND PERMANENT STABILIZATION: THESE METHODS SHOULD BE IN AFFECT IF THE NEED ARISES.
B4 - SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS: **SEE SHEET 6 & 8**.
B5 - SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS: **SEE SHEET 5 & 6**.
B6 - RUNOFF CONTROL MEASURES: **SEE SHEET 6**.
B7 - STORM WATER OUTLET PROTECTION LOCATION AND SPECIFICATIONS: **SEE SHEET 6 & SHEET 8 FOR DETAIL**.
B8 - GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECIFICATIONS: **SEE SHEET 6**
B9 - DEWATERING APPLICATIONS AND MANAGEMENT METHODS: N/A
B10 - MEASURES UTILIZED FOR WORK WITHIN WATER BODIES: N/A
B11 - MAINTENANCE GUIDELINES FOR EACH PROPOSED STORMWATER QUALITY MEASURE: SEE DETAILS HEREIN
B12 - PLANNED CONSTRUCTION SEQUENCE DESCRIBING IMPLEMENTATION STORMWATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES: IF APPLICABLE, FIRST THE INFRASTRUCTURE IMPROVEMENTS WILL BE CONSTRUCTED, WHICH INCLUDES BUT IS NOT LIMITED TO UTILITY INSTALLATION, DRAINAGE SYSTEM CONSTRUCTION, SANITARY SEWER INSTALLATION, MUNICIPAL WATER SUPPLY, AND DRIVEWAY CONSTRUCTION. ALL FACETS OF SEDIMENT CONTROL SUCH AS DRAINAGE SYSTEM INLET PROTECTION, DRAINAGE PIPE OUTLET PROTECTION AND SEDIMENT FENCING SHALL BE INSTALLED AS SOON AS POSSIBLE. ALL DISTURBED AREAS, AFTER INSTALLATION OF IMPROVEMENTS SUCH AS UTILITIES SHALL HAVE SEEDING AFTER EACH IMPROVEMENT. NO AREAS WITHIN THE DEVELOPMENT SHALL BE LEFT UN-VEGETATED FOR MORE THAN 15 DAYS. IF THERE WAS GRADED AND NO SCHEDULED CONSTRUCTION WILL TAKE PLACE BEFORE THE 15 DAY LIMIT THE AREA SHALL BE TEMPORARILY SEEDED. TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED UNTIL VEGETATION HAS BEEN ESTABLISHED. AREAS THAT HAVE HAD FINAL GRADING OR WILL BE DORMANT FOR AN EXTENDED PERIOD OF TIME SHALL HAVE PERMANENT SEEDING TO STABILIZE FINAL GRADING. FINALLY, THE SITE WILL HAVE A BUILDING CONSTRUCTED AND WILL HAVE EROSION CONTROL MEASURES IMPLEMENTED TO LIMIT EROSION OF THE SOIL SURFACE. INSTALLATION AND MAINTENANCE OF THE SITE SHALL BE THE RESPONSIBILITY OF THE BUILDING CONTRACTOR AND/OR THEIR AGENT, AS SPECIFIED IN 327 IAC 15-5 AND 327 IAC 15-13 (RULE 5 AND RULE 13). THE SITE SHALL USE SEDIMENT CONTROL MEASURES OUTLINED IN INDIANA STORM WATER QUALITY MANUAL.
B13 - PROVISIONS FOR EROSION AND SEDIMENT CONTROL ON INDIVIDUAL RESIDENTIAL BUILDING LOTS REGULATED UNDER THE PROPOSED PROJECT: N/A
B14 - MATERIAL HANDLING AND SPILL PREVENTION PLAN:
1. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN-UP SUPPLIES.
2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP WILL BE KEPT IN THE MATERIALS STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT LIMITED TO RAGS, GLOVES, GOGGLES, SAND, ABSORBENT PADS AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
3. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
4. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARD SUBSTANCE.
5. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE AUTHORITIES IN ACCORDANCE WITH PERTINENT REGULATIONS.
6. THE PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND PROCEDURES FOR CLEANING UP SPILLS, SHOULD THEY OCCUR. A DESCRIPTION OF THE SPILL WHAT CAUSED IT, AND THE CLEAN-UP MEASURES WILL BE INCLUDED.
B15 - MATERIAL HANDLING AND STORAGE PROCEDURES ASSOCIATED WITH CONSTRUCTION ACTIVITY
1. MANUFACTURER'S RECOMMENDED METHODS FOR MATERIAL HANDLING AND PROCEDURES WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND STORAGE PROCEDURES.

SECTION C - STORMWATER POLLUTION, POST - CONSTRUCTION COMPONENT


- C1 - DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATED WITH THE PROPOSED LAND USE: POTENTIAL STORMWATER RUNOFF POLLUTANTS GENERATED BY THE SITE AND ENTERING THE STORMWATER SYSTEM MAY INCLUDE MINOR AMOUNTS OF SEDIMENT FROM THE UNPAVED STORAGE AND PARKING AREAS, LITTER AND TRASH, MINOR AMOUNTS OF SEDIMENT TRACKED ONTO THE SITE BY VEHICLE TIRES.
C2 - DESCRIPTION OF PROPOSED POST CONSTRUCTION STORM WATER QUALITY MEASURES:
1. THE PROPOSED RETENTION AREA ON SITE IS TO BE CONSTRUCTED TO ACCOMMODATE ADDITIONAL STORM WATER RUNOFF PRODUCED BY THE DEVELOPMENT. ONCE THE BASIN IS CONSTRUCTED, IT WILL HAVE ITS FLOOR AND SIDE SLOPES SEEDED. STORMWATER COLLECTED IN THE RETENTION BASIN WILL THEN INFILTRATE INTO THE GROUND, REMAINING ON-SITE. POTENTIAL POLLUTANTS SUSPECTED IN THE RUNOFF WILL HAVE A CHANCE TO SETTLE AND BE FILTERED PRIOR TO PERCOLATION.
2. CATCH BASINS AND A PIPE SYSTEM WILL BE UTILIZED TO CONVEY STORMWATER TO THE FINAL OUTLET.
3. STORMWATER DRAINAGE WILL FLOW OVER VEGETATED AREAS IN THE STORMWATER BASINS WHICH WILL FILTER POTENTIAL POLLUTANTS FROM THE WATER.
4. STORMWATER DRAINAGE WILL FLOW OUT OF THE PIPES AND ACROSS STONE RIPRAP CHANNELS. THE RIPRAP AREAS WILL SLOW THE WATER VELOCITY TO AVOID SOIL EROSION.
5. VEGETATION IN UNPAVED AREAS WILL FILTER POLLUTANTS FROM STORMWATER RUNOFF, REDUCE THE TEMPERATURE OF STORMWATER RUNOFF, REDUCE STORMWATER RUNOFF VELOCITY, AND REDUCE EROSION POTENTIAL.
6. TRASH AND DEBRIS WILL BE COLLECTED FROM THE SITE ON A REGULAR BASIS.
7. FOR MAINTENANCE OF GROUND COVER INSTALLATIONS, SEE SHEET 9 OF _ FOR CORRECT POST - CONSTRUCTIONS INSPECTION AND MAINTENANCE PROCEDURES.
C3 - LOCATION, DIMENSIONS, SPECIFICATIONS, AND CONSTRUCTION DETAILS OF EACH STORMWATER QUALITY MEASURE:
1. THE STORMWATER DETENTION BASIN TO BE AS FOLLOWS: BASIN: CONSTRUCT TO 26,988 C.F. CAPACITY
2. STONE RIP RAP SHALL BE APPLIED AT THE OUT FALL OF ALL PIPES AND SWALES WITHIN THE RETENTION BASINS. THIS SHALL SLOW THE VELOCITY OF STORMWATER WATER OUTFLOW AND AVOID SOIL EROSION.
3. GRASS OR OTHER VEGETATION IN UNPAVED AREAS AS SHOWN ON SITE MAP.
4. ADDITIONAL STORM PIPE SHOWN SHALL WILL REQUIRE APPROPRIATE INSPECTIONS.
C4 - SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION
1. STORMWATER RETENTION BASINS;
2. RIPRAP AT BASIN INTERFACE;
3. STORM PIPE INSTALLATION;
4. TOPSOIL, SEED AND MULCH ON ALL UNPAVED DISTURBED AREAS.
C5 - DESCRIPTION OF MAINTENANCE GUIDELINES FOR PROPOSED POST CONSTRUCTION WATER QUALITY MEASURES:
1. INSPECTIONS ARE REQUIRED ANNUALLY AND AFTER ANY RAINFALL EVENT OF THREE INCHES OR MORE.
a. STORM PIPES ARE TO BE INSPECTED FOR BLOCKAGE AND STRUCTURAL FAILURES.
b. RETENTION BASINS SHALL HAVE TRASH AND DEBRIS REMOVED AFTER EACH STORM EVENT AND INSPECTED MONTHLY.
2. INSPECTIONS ARE TO BE RECORDED WITH THE INSPECTION REPORT ACCESSIBLE.
a. INSPECTION REPORTS ARE TO BE KEPT BY THE PROPERTY OWNERS AND BE AVAILABLE FOR REVIEW WHEN REQUESTED BY CITY OR COUNTY AGENT.
b. A DESIGNATED CITY OR COUNTY STAFF MEMBER MAY MAKE PERIODIC SITE INSPECTIONS TO VERIFY CONDITION OF STORMWATER QUALITY MEASURES.
3. THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF STORMWATER QUALITY MEASURES.
a. STORMWATER RETENTION BASIN
i. RIPRAP AT END OF PIPE AND SWALE OUTLETS TO BE REPLACED IF WASHOUT OCCURS.
ii. SEDIMENT BUILDUP OF 1 FOOT OR MORE IN BOTTOM OF THE BASIN TO BE REMOVED.
iii. GRASS AND/OR VEGETATED AREAS TO BE MOWED TO ALLOW FOR FLOW OF RAINWATER AND ELIMINATE THE POSSIBILITY OF STANDING WATER.
iv. IF STANDING WATER REMAINS IN BASIN FOR >48 HOURS, SEDIMENT NEEDS TO BE REMOVED.
v. REPAIR ERODED AREAS CREATED BY RAINWATER WASHOUTS.
vi. NOTE SIGNS OF HYDROCARBON (OIL AND RELATED PETROLEUM PRODUCTS) BUILD UP BY VEHICULAR TRAFFIC; AND REPAIR OR REMOVE USING APPROPRIATE MEASURES.
b. STORMWATER STRUCTURES (INLETS, PIPES AND END SECTIONS)
C6 - ENTITY RESPONSIBLE FOR MAINTENANCE OF POST CONSTRUCTION STORMWATER QUALITY MEASURES: POST CONSTRUCTION STORMWATER QUALITY MEASURES WILL BE OPERATED AND MAINTAINED BY THE PROPERTY OWNER.

LAND SURVEYORS' CERTIFICATION:

I, J. BERNARD FEENEY, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THIS PLAT CORRECTLY REPRESENTS A SURVEY COMPLETED OR CERTIFIED BY ME ON 9/10/2025; THAT THE LOCATION, SIZE, TYPE AND MATERIAL OF ALL MONUMENTS ARE ACCURATELY SHOWN; FURTHER, I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. BY: J. BERNARD FEENEY.

J. Bernard Feeny
J. BERNARD FEENEY
#S #80040309
bfeeny@gowightman.com



**WIGHTMAN**

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574.936.3469

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PROJECT NAME:
D & M PLYWOOD SALES
COUNTY ROAD 22
MIDDLEBURY, IN 46540

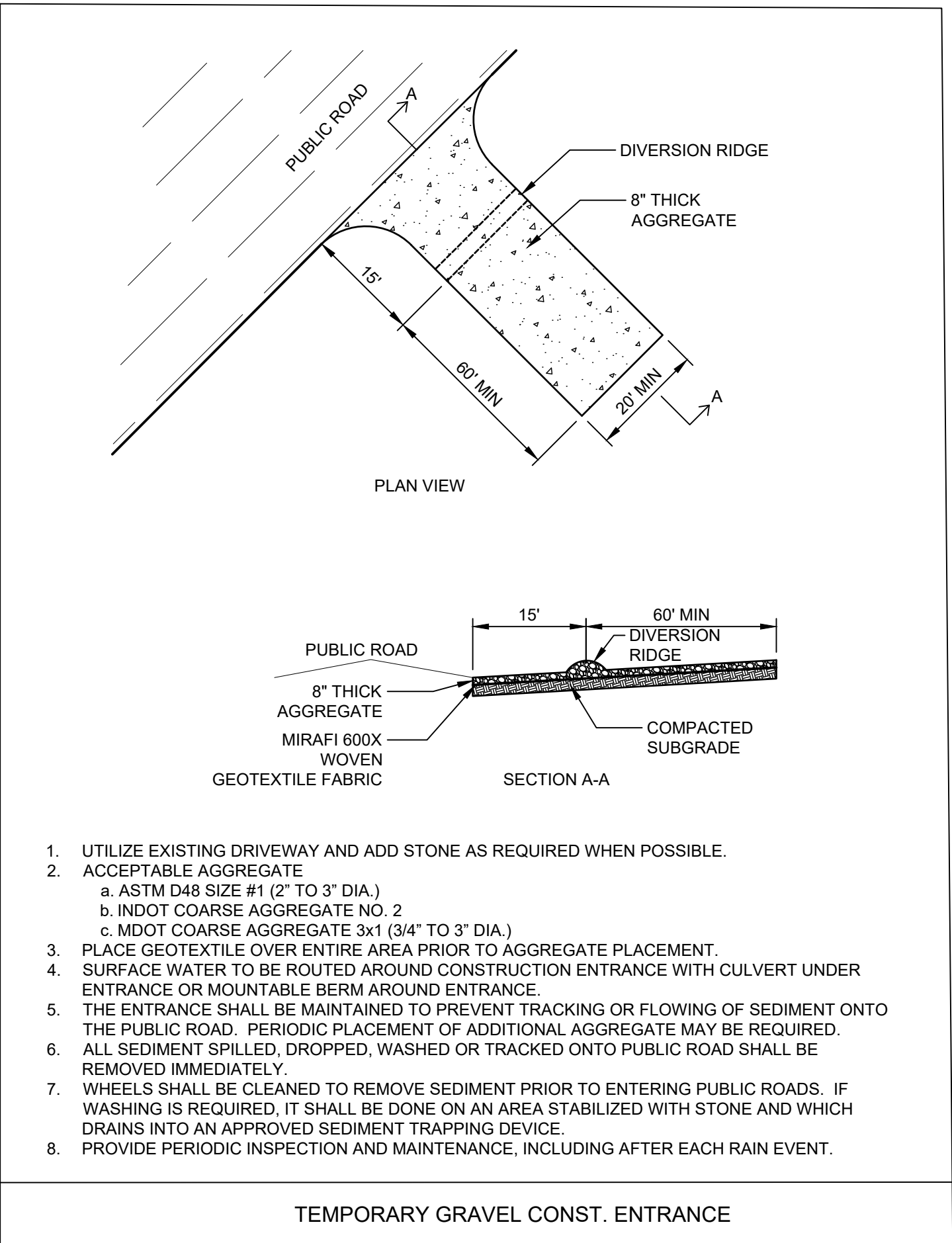
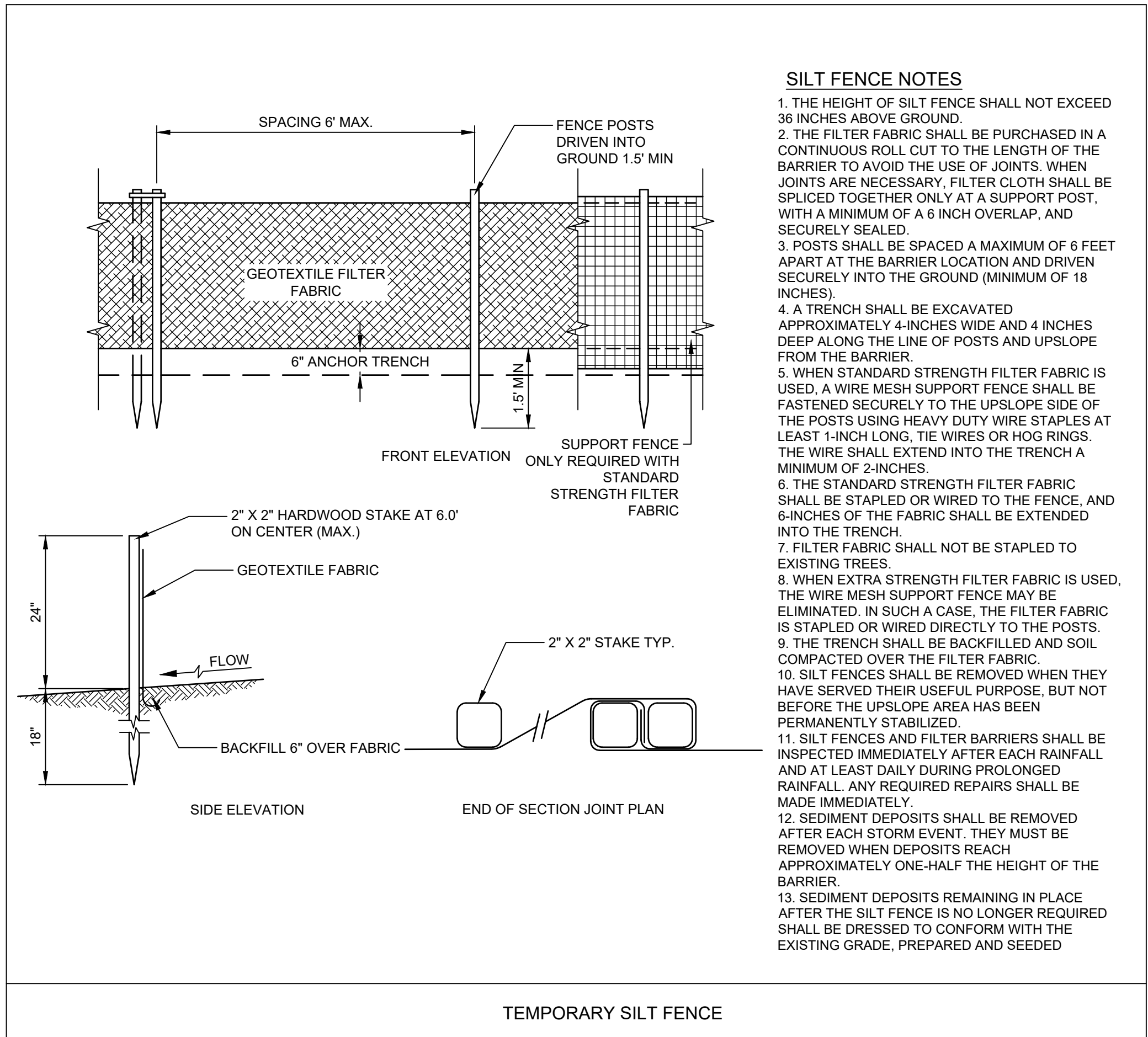
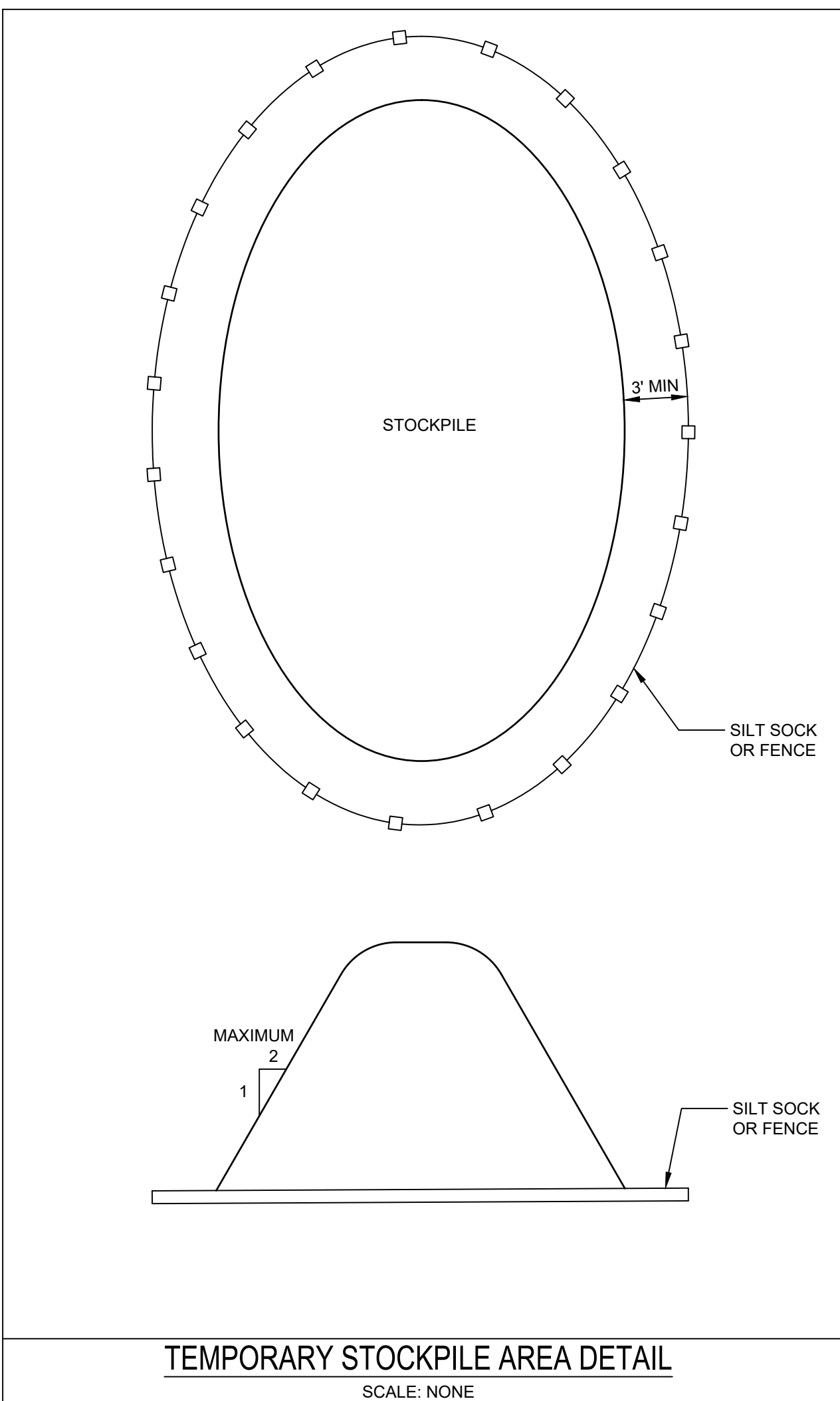
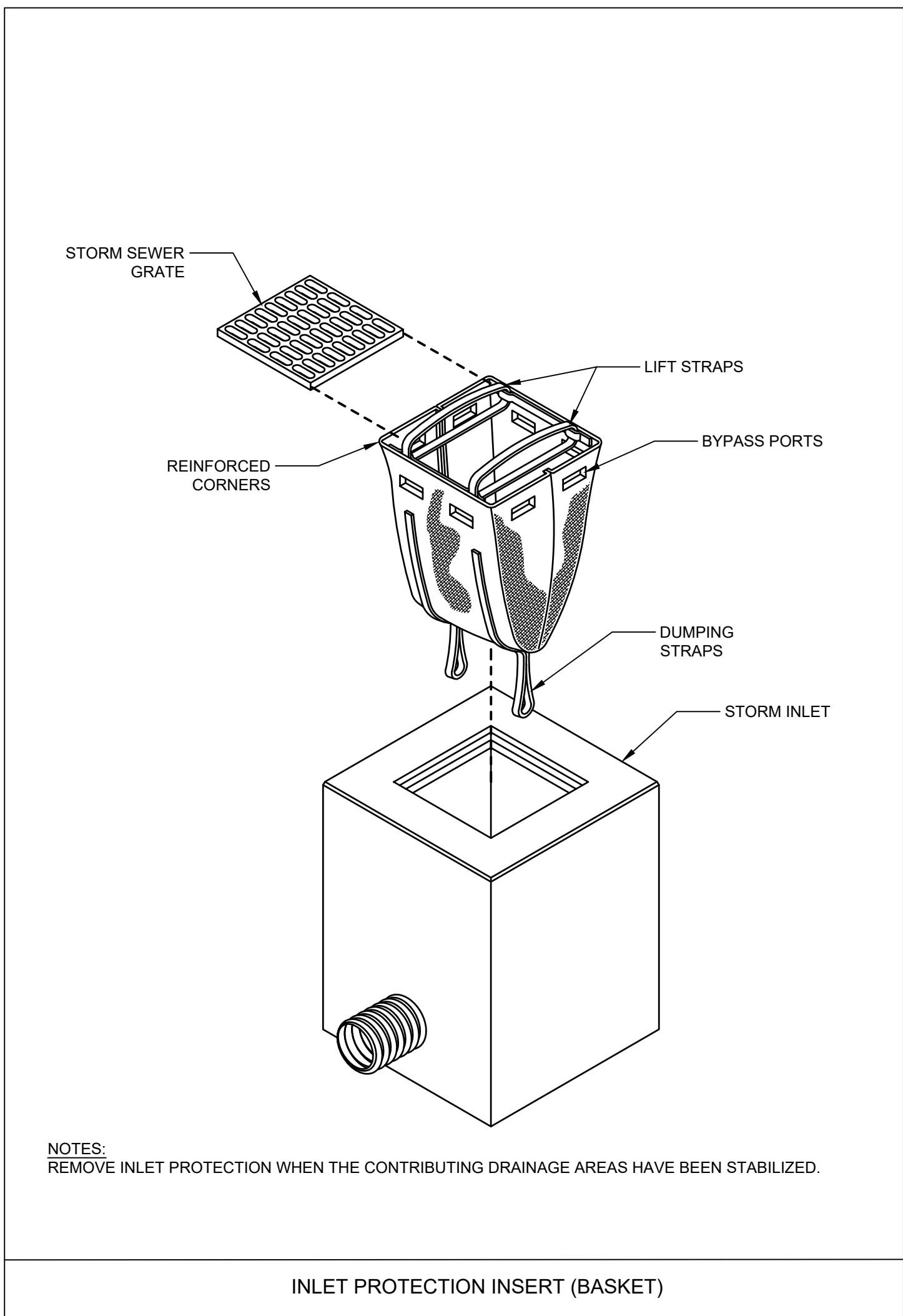
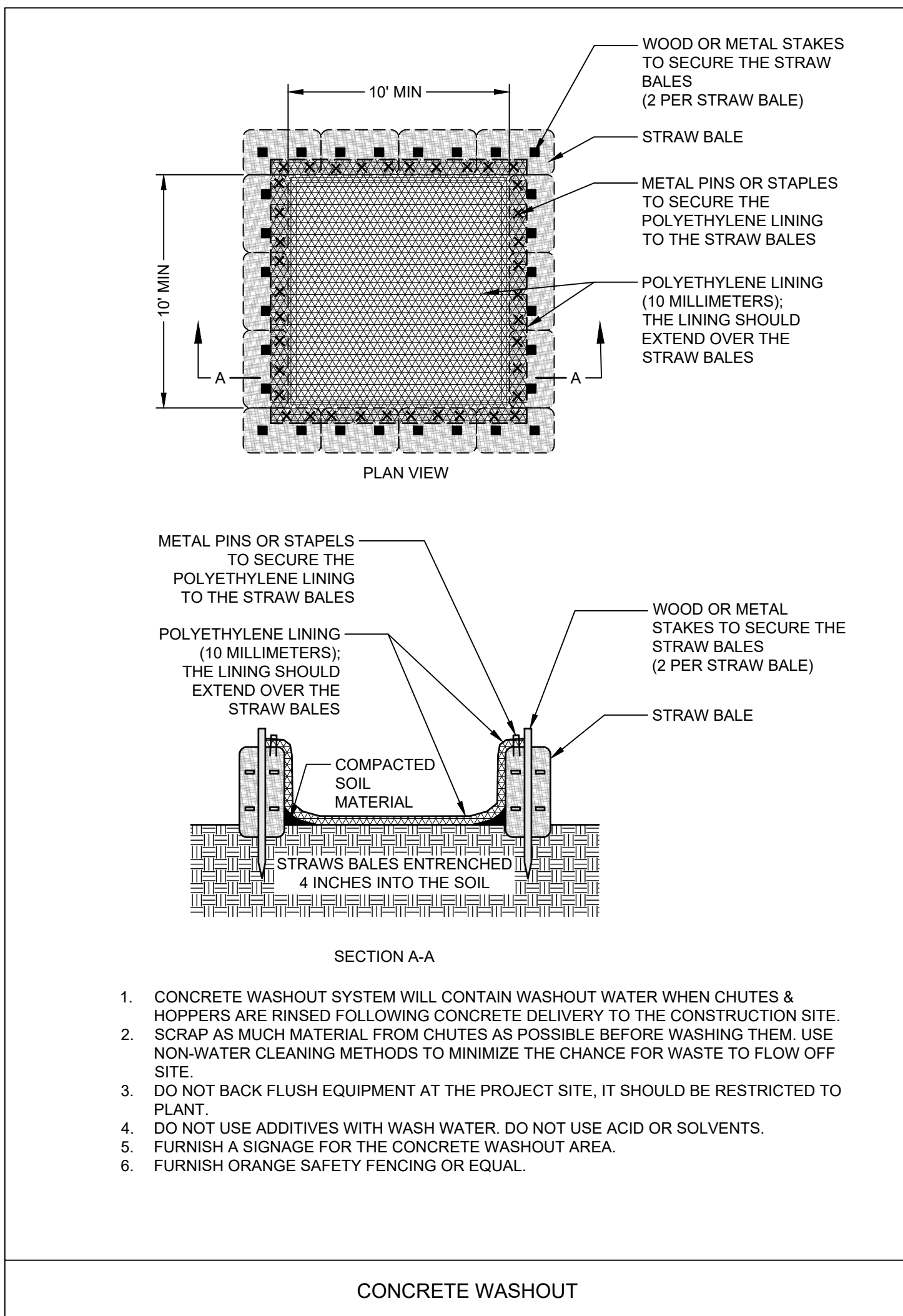
JAMES HOSTETLER
7165 W 650 N
SHIPSHEWANA, IN 46565

9/15/2025 - REVISIONS PER TRC
9/5/2025 - REVISION PER TODD CLARK
REVISIONS
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EROSION CONTROL DETAILS

JOB NO. 251268
7 OF 9

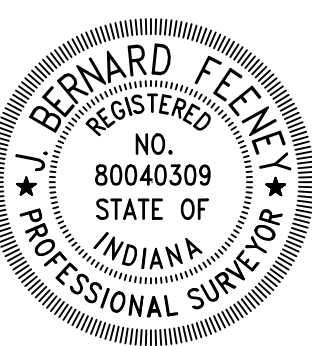
D & M SALES DPUD
1ST AMENDMENT
PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 7 EAST,
MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA



LAND SURVEYORS' CERTIFICATION:

I, J. BERNARD FEENEY, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THIS "PLAT" CORRECTLY REPRESENTS A SURVEY COMPLETED OR CERTIFIED BY ME ON 9/10/2025; THAT THE LOCATION, SIZE, TYPE AND MATERIAL OF ALL MONUMENTS ARE ACCURATELY SHOWN, FURTHER, I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. BY: J. BERNARD FEENEY.

J. Bernard Feeney
J. BERNARD FEENEY
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TYPICAL EROSION CONTROL DETAILS

JOB NO. 251288
8 OF 9

W+
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<div>PERMANENT SEEDING SPECIFICATIONS</div> <div><div>APPLICATION</div><div>Site Preparation</div><div>1. Grade the site to achieve positive drainage.</div><div>2. Add topsoil or compost mulch to achieve needed depth for establishment of vegetation. (Compost material may be added to improve soil moisture holding capacity, soil friability, and nutrient availability.)</div><div>Seeded Preparation</div><div>1. Test soil to determine pH and nutrient levels.</div><div>2. Apply soil amendments as recommended by the soil test and work into the upper two to four inches of soil. If testing is not done, apply 400 to 600 pounds per acre of 12–12–12 analysis fertilizer, or equivalent.</div><div>3. Till the soil to obtain a uniform seedbed. Use a disk or rake, operated across the slope, to work the soil amendments into the upper two to four inches of the soil.</div><div>Seeding</div><div>Optimum seeding dates are March 1 to May 10 and August 10 to September 30. Permanent seeding done between May 10 and August 10 may need to be irrigated. Seeding outside or beyond optimum seeding dates is still possible with the understanding that reseeding or overseeding may be required if adequate surface cover is not achieved. Reseeding or overseeding can be easily accomplished if the soil surface remains well protected with mulch.</div><div>1. Select a seeding mixture and rate from Table 1 Permanent Seeding Recommendations. Select seed mixture based on site conditions, soil pH, intended land use, and expected level of maintenance.</div><div>2. Apply seed uniformly with a drill or cultipacker seeder or by broadcasting. Plant or cover the seed to a depth of one–fourth to one–half inch. If drilling or broadcasting the seed, ensure good seed–to–soil contact by firming the seedbed with a roller or cultipacker after completing seeding operations. (If seeding is done with a hydroseeder fertilizer and mulch can be applied with the seed in a slurry mixture.)</div><div>3. Mulch all seeded areas and use appropriate methods to anchor the mulch in place. Consider using erosion control blankets on sloping areas and conveyance channels.</div><div>MAINTENANCE</div><div>1. Inspect within 24 hours of each rain event and at least once every seven calendar days until the vegetation is successfully established.</div><div>2. Characteristics of a successful stand include vigorous dark green or bluishgreen seedlings with a uniform vegetative cover density of 90 percent or more.</div><div>3. Check for erosion or movement of mulch.</div><div>4. Repair damaged, bare, gullied, or sparsely vegetated areas and then fertilize, reseed, and apply and anchor mulch.</div><div>5. If plant cover is sparse or patchy, evaluate the plant materials chosen, soil fertility, moisture condition, and mulch application; repair affected areas either by overseeding or preparing a new seedbed and reseeding. Apply and anchor mulch on the newly seeded areas.</div><div>6. If vegetation fails to grow, consider soil testing to determine soil pH or nutrient deficiency problems. (Contact your soil and water conservation district or cooperative extension office for assistance.)</div><div>7. If additional fertilization is needed to get a satisfactory stand, do so according to soil test recommendations.</div><div>8. Add fertilizer the following growing season. Fertilize according to soil test recommendations.</div><div>9. Fertilize turf areas annually. Apply fertilizer in a split application. For cool–season grasses, apply one–half of the fertilizer in late spring and one–half in early fall. For warm–season grasses, apply one–third in early spring, one–third in late spring, and the remaining one–third in middle summer.</div><div>These tables provide seed mixture options. Additional seed mixtures are available commercially. When selecting a mixture, consider intended land use and site conditions, including soil properties (e.g., soil pH and drainage), slope aspect, and the tolerance of each species to shade and drought.</div><div>OPEN LOW–MAINTENANCE AREAS (REMAINING IDLE FOR MORE THAN 6 MONTHS)</div><table><tr><th>SEED MIXTURES</th><th>RATE/ACRE PURE LIVE SEED</th><th>OPTIMUM SOIL PH</th></tr><tr><td>1. Perennial ryegrass – white clover (1)</td><td>70 lbs. 2 lbs.</td><td>5.6 to 7.0</td></tr><tr><td>2. Perennial ryegrass – tall fescue (2)</td><td>70 lbs. 50 lbs.</td><td>5.6 to 7.0</td></tr><tr><td>3. Tall fescue (2)</td><td>70 lbs. 2 lbs.</td><td>5.5 to 7.5</td></tr></table><div>STEEP BANKS AND CUTS LOW–MAINTENANCE AREAS (NOT MOWED)</div><table><tr><th>SEED MIXTURES</th><th>RATE/ACRE</th><th>OPTIMUM SOIL PH</th></tr><tr><td>1. Smooth brome grass – red clover (1)</td><td>35 lbs. 20 lbs.</td><td>5.5 to 7.0</td></tr><tr><td>2. Tall fescue (2)</td><td>50 lbs. 2 lbs.</td><td>5.5 to 7.5</td></tr><tr><td>3. Tall fescue (2)</td><td>50 lbs. 20 lbs.</td><td>5.5 to 7.5</td></tr><tr><td>4. Orchard grass – red clover (1)</td><td>30 lbs. 20 lbs. 2 lbs.</td><td>5.6 TO 7.0</td></tr><tr><td>5. Crownvetch (1)</td><td>12 lbs. 30 lbs.</td><td>5.6 to 7.0</td></tr></table></div>	SEED MIXTURES	RATE/ACRE PURE LIVE SEED	OPTIMUM SOIL PH	1. Perennial ryegrass – white clover (1)	70 lbs. 2 lbs.	5.6 to 7.0	2. Perennial ryegrass – tall fescue (2)	70 lbs. 50 lbs.	5.6 to 7.0	3. Tall fescue (2)	70 lbs. 2 lbs.	5.5 to 7.5	SEED MIXTURES	RATE/ACRE	OPTIMUM SOIL PH	1. Smooth brome grass – red clover (1)	35 lbs. 20 lbs.	5.5 to 7.0	2. Tall fescue (2)	50 lbs. 2 lbs.	5.5 to 7.5	3. Tall fescue (2)	50 lbs. 20 lbs.	5.5 to 7.5	4. Orchard grass – red clover (1)	30 lbs. 20 lbs. 2 lbs.	5.6 TO 7.0	5. Crownvetch (1)	12 lbs. 30 lbs.	5.6 to 7.0	<div>DORMANT AND FROST SEEDING SPECIFICATIONS</div> <div>CONTRACTOR TO DETERMINE THE APPROPRIATE SEEDING METHOD BASED ON THE TIME OF YEAR.</div> <div>PURPOSE</div> <div>1. To provide early germination and soil stabilization in the spring.</div> <div>2. To reduce sediment–laden stormwater runoff from being transported to downstream areas.</div> <div>3. To improve visual aesthetics of construction area.</div> <div>4. To repair or enhance previous seeding.</div> <div>MATERIALS REQUIRED</div> <div>1. Soil amendments based upon analysis of soil by a soil testing service. (fertilizer, etc.)</div> <div>2. Seed (information follows)</div> <div>3. Mulch (straw, hay, wood fiber, etc.) for protection of seedbed, moisture retention and encouragement of plant growth. mulch must be anchored to prevent dispersal by wind or water. may be covered with manufactured erosion control blankets.</div> <div>SEEDING SPECIFICATIONS</div> <div>Note that seeding done outside of the optimum seeding dates increases the chances of seeding failure. dates may be shortened or extended depending on the location of the site within the State of Indiana. Mulch alone is an acceptable temporary cover and may be used in lieu of temporary seeding, providing that it is appropriately anchored. perennial species may be used as a temporary cover, especially if the area to be seeded will remain idle for more than one year (see permanent seeding).</div> <div>Temporary Dormant or Frost Seeding</div> <div>Wheat or Rye: 150 pounds per acre Spring Oats: 150 pounds per acre Annual Rye Grass: 60 pounds per acre</div> <div>Permanent Dormant or Frost Seeding</div> <div>OPEN LOW–MAINTENANCE AREAS (REMAINING IDLE MORE THAN 6 MONTHS):</div> <div>Perennial ryegrass & white clover: ryegrass 75 pounds per acre + 3 pounds of clover per acre, optimum soil ph 5.6 to 7.0</div> <div>Perennial ryegrass & tall fescue: ryegrass 45 pounds per acre + 45 pounds of fescue per acre, optimum soil ph 5.6 to 7.0</div> <div>Tall fescue & white clover: fescue 75 pounds per acre + 3 pounds of white clover per acre, optimum soil ph 5.5 to 7.5</div> <div>Kentucky bluegrass, smooth bromegrass, switchgrass, timothy, perennial ryegrass, & white clover: bluegrass 30 pounds per acre + 15 pounds of bromegrass per acre + 5 pounds of switchgrass per acre + 6 pounds of timothy per acre + 15 pounds of ryegrass per acre + 3 pounds of white clover per acre, optimum soil ph 5.5 to 7.5</div> <div>STEEP BANKS AND CUTS (LOW–MAINTENANCE AREAS, NOT MOWED):</div> <div>Smooth bromegrass & red clover: brome 50 pounds per acre + 30 pounds of red clover per acre, optimum soil ph 5.5 to 7.0</div> <div>Tall fescue & white clover: fescue 75 pounds per acre + 30 pounds of white clover per acre, optimum soil ph 5.5 to 7.5</div> <div>Tall fescue & red clover: fescue 75 pounds per acre + 30 pounds of red clover per acre, optimum soil ph 5.5 to 7.5</div> <div>Orchard grass, red clover & white clover: orchard grass 45 pounds per acre + 30 pounds of red clover per acre + 3 pounds of white clover per acre, optimum soil ph 5.6 to 7.0</div> <div>LAWNS AND HIGH–MAINTENANCE AREAS:</div> <div>Bluegrass: bluegrass 210 pounds per acre, optimum ph 5.5 to 7.0</div> <div>Perennial ryegrass & bluegrass: 90 pounds of ryegrass per acre + 135 pounds of bluegrass per acre, optimum ph 5.6 to 7.0</div> <div>Tall fescue (turf type) & bluegrass: fescue 250 pounds per acre + 45 pounds of bluegrass per acre, optimum soil ph 5.6 to 7.0</div> <div>CHANNELS AND AREAS OF CONCENTRATED FLOW:</div> <div>Perennial ryegrass & white clover: ryegrass 225 pounds per acre + 3 pounds of white clover per acre, optimum soil ph 5.5 to 7.0</div> <div>Kentucky bluegrass, smooth bromegrass, switchgrass, timothy, perennial ryegrass, & white clover: bluegrass 30 pounds per acre + 15 pounds of bromegrass per acre + 5 pounds of switchgrass per acre + 6 pounds of timothy per acre + 15 pounds of ryegrass per acre + 3 pounds of white clover per acre, optimum soil ph 5.5 to 7.5</div> <div>Tall fescue & white clover: fescue 225 pounds per acre + 3 pounds of clover per acre, optimum soil ph 5.5 to 7.5</div> <div>Tall fescue, perennial rye grass, & Kentucky bluegrass: fescue 225 pounds per acre + 30 pounds of ryegrass per acre + 30 pounds of bluegrass per acre, optimum soil ph 5.5 to 7.5</div> <div>FOR BEST RESULTS:</div> <div>1. Legume seed should be inoculated</div> <div>2. Seeding mixtures containing legumes should be spring–seeded although, the grass may be fall–seeded and the legume frost seeded</div> <div>3. If legumes are fall–seeded, do so in early fall</div> <div>4. If using mixtures other than those listed above, increase seeding rates by 50 percent over the conventional seeding rates.</div> <div>APPLICATION</div> <div>Site Preparation:</div> <div>1. Grade the site to achieve positive drainage.</div> <div>2. Add topsoil to achieve needed depth for establishment of vegetation.</div> <div>Dormant Seeding:</div> <div>1. Test soil to determine ph and nutrient levels.</div> <div>2. Broadcast soil amendments as recommended by soil test and work into the upper 2 to 4 inches of soil. If testing is not done, apply 200 to 300 pounds per acre of 12–12–12 analysis fertilizer, or equivalent.</div> <div>3. Apply anchored mulch immediately after completion of grading and addition of soil amendments.</div> <div>4. Select appropriate seed species (see seed specifications above). Broadcast the seed on top of the mulch and/or into existing ground cover at rates shown. Areas are to be seeded when soil temperatures are below 50 degrees but the soil is not frozen.</div> <div>Frost Seeding:</div> <div>1. Test soil to determine pH and nutrient levels.</div> <div>2. Broadcast soil amendments as recommended by a soil test and work into the upper 2 to 4 inches of soil before it freezes. If testing was not done, apply 200 to 300 pounds per acre of 12–12–12 analysis fertilizer, or equivalent.</div> <div>3. Select appropriate seed species or mixture (see seed specifications above). Broadcast the seed on the seedbed when the soil is frozen, do not work the seed into the soil.</div> <div>MAINTENANCE</div> <div>1. Inspect at least once every seven calendar days.</div> <div>2. Check for erosion or movement of mulch.</div> <div>3. Check for inadequate cover (less than 80 percent density over the soil surface); reseed and mulch in mid to late April if necessary. For best results, reseed within the recommended dates shown under temporary and permanent seeding).</div> <div>4. Apply 200 to 300 pounds per acre of 12–12–12 analysis fertilizer, or equivalent, between April 15 and May 10 or during periods of vigorous growth.</div> <div>5. Fertilize turf areas annually. Apply fertilizer in a split application. For cool–season grasses, apply 1/2 in late Spring and 1/2 in early Fall. For warm–season grasses, Apply 1/3 in early Spring, 1/3 in late Spring, and the remaining 1/3 in middle Summer.</div> <div>Note: Required density of vegetative cover = 80 percent or greater over the soil surface.</div>	<div>MULCHING SPECIFICATIONS</div> <div>TABLE 1. MULCH SPECIFICATIONS</div> <table><tr><th>MATERIAL (1)</th><th>RATE/ACRE</th><th>COMMENTS</th></tr><tr><td>Straw or Hay</td><td>2 tons</td><td>Should be dry, free of undesirable seeds. Spread by hand or machine. Must be crimped or anchored (See Table 2).</td></tr><tr><td>Wood fiber or cellulose (1)</td><td>1 ton</td><td>Apply with a hydraulic mulch machine and use with locking agent.</td></tr></table> <div>(1) Mulching is not recommended in concentrated flows. Consider erosion control blankets or other stabilization methods.</div> <div>TABLE 2. MULCH ANCHORING SPECIFICATIONS</div> <table><tr><th>ANCHORING METHOD</th><th>HOW TO APPLY</th></tr><tr><td>Mulch anchoring tool or farm disk (dull, serrated, and blades set straight)</td><td>Crimp or punch the straw or hay two to four inches into the soil. Operate machinery on the contour of the slope.</td></tr><tr><td>Cleating with dozer tracks</td><td>Operate dozer up and down slope to prevent formation of rills by dozer cleats</td></tr><tr><td>Wood hydramulch fibers</td><td>Apply according to manufacturer's recommendations.</td></tr><tr><td>Synthetic tackifiers, binders, or soil stabilizers</td><td>Apply according to manufacturer's recommendations.</td></tr><tr><td>Netting (synthetic or biodegradable material)</td><td>Install netting immediately after applying mulch. Anchor netting w/staples. Edges of netting strips should overlap with each up–slope strip overlapping 4”–6” over the adjacent down–slope strip. Best suited to slope applications. Installation details are site specific; follow manufacturer's recommendations.</td></tr></table> <div>(1) All forms of mulch must be anchored to prevent displacement by wind and/or water.</div> <div>APPLICATION</div> <div>1. Coverage: Mulch should have a uniform density of at least 75 percent over the soil surface.</div> <div>2. Apply mulch at the recommended rate shown in Table 1.</div> <div>3. Spread the mulch material uniformly by hand, hayfork, mulch blower, or hydraulic mulch machine. After spreading, no more than 25 percent of the ground should be visible.</div> <div>4. Anchor straw or hay mulch immediately after application. The mulch can be anchored using one of the methods listed below.<ul style="list-style-type: none">a. Crimp with a mulch anchoring tool, a weighted farm disk with dull serrated blades set straight, or track cleats of a bulldozer.b. Apply hydraulic mulch with short cellulose fibers.c. Apply a liquid tackifier, ord. Cover with netting secured by staples.</div> <div>MAINTENANCE</div> <div>1. Inspect within 24 hours of each rain event and at least once a week.</div> <div>2. Check for erosion or movement of mulch; repair damaged areas, reseed, apply one–half of the fertilizer in late spring and one–half in early fall.</div> <div>3. Continue inspections until vegetation is firmly established.</div> <div>4. If erosion is severe or recurring, use erosion control blankets or other more substantial stabilization methods to protect the area.</div> <div>COMPOST MULCHING</div> <div>Compost Specifications</div> <div>1. Feedstocks may include but are not limited to well–composted vegetable matter, leaves, yard trimmings, food scraps, composted manures, paper fiber, wood bark, Class A biosolids (as defined in Title 40 of the Code of Federal Regulations at 40 CFR Part 503), or any combination thereof.</div> <div>2. Compost shall be produced using an aerobic composting process meeting 40 CFR Part 503 regulations, including time and temperature data indicating effective weed seed, pathogen, and insect larvae kill.</div> <div>3. Compost shall be well decomposed, stable, and weed free.</div> <div>4. Refuse free (less than one percent by weight).</div> <div>5. Free of any contaminants and materials toxic to plant growth.</div> <div>6. Inert materials not to exceed one percent by weight pH of 5.5 to 8.0.</div> <div>7. Carbon–nitrogen ratio not to exceed 100.</div> <div>8. Moisture content not to exceed 45 percent by dry weight.</div> <div>9. Variable particle size with maximum dimensions of three inches in length, one–half inch in width and one–half inch in depth.</div> <div>10. Compost particle size: 100% passing 2” sieve; 99% passing 1” sieve; 90% passing 3/4” sieve; 25% passing > 1/4” sieve.</div> <div>Banding Agents (optional)</div> <div>Tackifiers, flocculants, or microbial additives may be used to remove sediment and/or additional pollutants from storm water runoff. (All additives combined with compost materials should be tested for physical results at a certified erosion and sediment control laboratory and biologically tested for elevated beneficial microorganisms at a United States Compost Council, Seal of Testing Assurance, approved testing laboratory.)</div> <div>Soil Material (optional)</div> <div>5K–10K sandy loam (as classified by the U.S. Department of Agriculture soil classification system).</div> <div>Cover Density – 90% or greater over the soil surface.</div> <div>Anchoring Method</div> <div>Mulch compost/mulch blanket for a minimum of 60 days. Erosion control netting (optional).</div> <div>TABLE 3. COMPOST BLANKET THICKNESS</div> <table><tr><th>SLOPE</th><th>THICKNESS OF COMPOST BLANKET</th><th>THICKNESS OF COMPOST BLANKET WITH EROSION CONTROL NETTING</th></tr><tr><td>< 25%</td><td>< 4:1</td><td>1 to 2 inches</td></tr><tr><td>25% to 50%</td><td>4:1 to 2:1</td><td>1 to 2 inches</td></tr><tr><td>> 50%</td><td>> 2:1</td><td>2 to 3 inches</td></tr></table> <div>APPLICATION</div> <div>1. Remove existing vegetation, large soil clods, rocks, stumps, large roots, and debris in areas where compost mulch is to be applied and dispose of in designated areas.</div> <div>2. Scarify sloping areas.</div> <div>3. Aerate areas to be covered with compost/mulch blanket. (Proper aeration will require a minimum of two passes oriented in opposite directions.)</div> <div>4. Broadcast a minimum of one pound of nitrogen (N), one–half pound of phosphorus (P205), and one–half pound of potash (K2O) per 1,000 square feet or 300 to 400 pounds per acre of 12–12–12 analysis fertilizer, or equivalent, per acre.</div> <div>5. Apply compost mulch blanket with a pneumatic blower or per manufacturer's directions.</div> <div>6. Apply within three days of completing erosion operations.</div> <div>7. Overlap top of slope shoulder by five to ten feet.</div> <div>8. Seed may be applied at time of installation. (Seed must be evenly blended into the compost if applied with a pneumatic blower or applied with a calibrated seeder attachment prior to installation of the compost blanket.)</div> <div>9. Water compost mulch blanket for a period of 60 days following application. (On steeper slopes, it may be necessary to install erosion control netting over the compost blanket.)</div> <div>10. Mist blanket for first seven days and then every three days throughout the remainder of the 60–day period.</div> <div>11. Maintain a constant moisture content of 40 percent to 60 percent.</div> <div>MAINTENANCE</div> <div>1. Inspect within 24 hours of a rain event and at least once a week.</div> <div>2. Repair eroded areas. Reseed, if applicable.</div> <div>3. Monitor vegetation and apply appropriate soil amendments (if needed) per a soil test.</div>	MATERIAL (1)	RATE/ACRE	COMMENTS	Straw or Hay	2 tons	Should be dry, free of undesirable seeds. Spread by hand or machine. Must be crimped or anchored (See Table 2).	Wood fiber or cellulose (1)	1 ton	Apply with a hydraulic mulch machine and use with locking agent.	ANCHORING METHOD	HOW TO APPLY	Mulch anchoring tool or farm disk (dull, serrated, and blades set straight)	Crimp or punch the straw or hay two to four inches into the soil. Operate machinery on the contour of the slope.	Cleating with dozer tracks	Operate dozer up and down slope to prevent formation of rills by dozer cleats	Wood hydramulch fibers	Apply according to manufacturer's recommendations.	Synthetic tackifiers, binders, or soil stabilizers	Apply according to manufacturer's recommendations.	Netting (synthetic or biodegradable material)	Install netting immediately after applying mulch. Anchor netting w/staples. Edges of netting strips should overlap with each up–slope strip overlapping 4”–6” over the adjacent down–slope strip. Best suited to slope applications. Installation details are site specific; follow manufacturer's recommendations.	SLOPE	THICKNESS OF COMPOST BLANKET	THICKNESS OF COMPOST BLANKET WITH EROSION CONTROL NETTING	< 25%	< 4:1	1 to 2 inches	25% to 50%	4:1 to 2:1	1 to 2 inches	> 50%	> 2:1	2 to 3 inches	<div>SOD SPECIFICATIONS</div> <div>INSTALLATION</div> <div>Sod should not be installed during hot weather, on dry soil, frozen soil, compacted clay, loose sand or gravelly substrate soils, aggregate, or pesticide treated soil. The ideal time to lay sod is May 1 to June 1 or September 1 to September 30, although it can be installed as early as March 15 if available or June 1 to September 1 if irrigated.</div> <div>Site Preparation</div> <div>1. Apply topsoil if existing soil conditions are unsuitable for establishing vegetation.</div> <div>2. Grade the site to achieve positive drainage and create a smooth, firm soil surface.</div> <div>3. Where applicable, use a chisel plow, disk, harrow, or rake to break up compacted soils and create a favorable rooting depth of six to eight inches.</div> <div>Sod Bed Preparation</div> <div>1. Test soil to determine pH and nutrient levels.</div> <div>2. If soil pH is too acidic for the grass sod to be installed, apply lime according to soil test results or at the rate recommended by the sod supplier.</div> <div>3. Apply fertilizer as recommended by the soil test. If testing was not done, apply 400 to 600 pounds per acre of 12–12–12 analysis fertilizer, or equivalent.</div> <div>4. Work the soil amendments into the upper two to four inches of soil with a disk or rake operated across the slope.</div> <div>5. Rake or harrow the area to achieve a smooth final grade and then roll or cultipack the soil surface to create a firm surface on which to lay the sod.</div> <div>Laying Sod</div> <div>1. Install sod within thirty–six hours of its cutting.</div> <div>2. Store the sod in a shaded location during installation.</div> <div>3. Immediately before laying the sod, rake the soil surface to break any crust. (If the weather is hot, lightly irrigate the soil surface prior to laying the sod.)</div> <div>4. Lay sod strips in a brick–like pattern.</div> <div>5. Butt all joints tightly against each other (do not stretch or overlap them), using a knife or mason's trowel to trim and fit sod into irregularly shaped areas.</div> <div>6. Roll the sod lightly after installation to ensure firm contact between the sod and soil.</div> <div>7. Irrigate newly sodded areas until the underlying soil is wet to a depth of four inches, and then keep moist until the grass takes root.</div> <div>Slope Application</div> <div>1. Install sod strips with the longest dimension perpendicular to the slope.</div> <div>2. Where slopes exceed a ratio of 3:1, staple or stake each strip at the corners and in the middle.</div> <div>Channel Application</div> <div>(Sodding provides quicker protection than seeding and may reduce the risk of early washout.)</div> <div>1. Excavate the channel, allowing for the full thickness of the sod.</div> <div>2. Lay sod strips with the longest dimension perpendicular to channel flow.</div> <div>3. Staple or stake each strip of sod at the corners and in the middle.</div> <div>4. Staple jute or biodegradable polypropylene netting over the sodded area to minimize the potential for washout during establishment.</div> <div>MAINTENANCE</div> <div>1. Inspect within 24 hours of each rain event and at least once every seven calendar days until sod is well rooted.</div> <div>2. Keep sod moist until fully rooted.</div> <div>3. After sod is well–rooted (two to three weeks), maintain a plant height of two to three inches.</div> <div>4. Time mowing to avoid ruts in turf.</div> <div>5. Fertilize turf areas annually. Apply fertilizer in a split application. For coolseason grasses, apply one–half of the fertilizer in late spring and one–half in early fall. For warm–season grasses, apply one–third in early spring, one–third in late spring and one–third in mid–summer.</div>	<div>1405 N. MICHIGAN ST. PLYMOUTH, IN 46563 574.936.3469</div> <div>www.gowightman.com</div> <div>PROJECT NAME: D & M PLYWOOD SALES COUNTY ROAD 22 MIDDLEBURY, IN 46540</div> <div>JAMES HOCHSTETLER 7165 W 650 N SHIPSHAWANA, IN 46565</div> <div>9/15/2025 - REVISIONS PER TRC 9/5/2025 - REVISION PER TODD CLARK REVISIONS THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED. © 2022 WIGHTMAN & ASSOCIATES, INC. DATE: 7/25/2025 SCALE: NA DRAWN BY: BSH CHECKED BY: BF</div> <div>TYPICAL EROSION CONTROL DETAILS</div> <div>JOB NO: 251268 9 OF 9</div>
SEED MIXTURES	RATE/ACRE PURE LIVE SEED	OPTIMUM SOIL PH																																																																	
1. Perennial ryegrass – white clover (1)	70 lbs. 2 lbs.	5.6 to 7.0																																																																	
2. Perennial ryegrass – tall fescue (2)	70 lbs. 50 lbs.	5.6 to 7.0																																																																	
3. Tall fescue (2)	70 lbs. 2 lbs.	5.5 to 7.5																																																																	
SEED MIXTURES	RATE/ACRE	OPTIMUM SOIL PH																																																																	
1. Smooth brome grass – red clover (1)	35 lbs. 20 lbs.	5.5 to 7.0																																																																	
2. Tall fescue (2)	50 lbs. 2 lbs.	5.5 to 7.5																																																																	
3. Tall fescue (2)	50 lbs. 20 lbs.	5.5 to 7.5																																																																	
4. Orchard grass – red clover (1)	30 lbs. 20 lbs. 2 lbs.	5.6 TO 7.0																																																																	
5. Crownvetch (1)	12 lbs. 30 lbs.	5.6 to 7.0																																																																	
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(1) For best results: (a) legume seed should be inoculated; (b) seeding mixtures containing legumes should preferably be spring–seeded, although the grass may be fall–seeded and the legume frost–seeded (see Dormant Seeding and Frost Seeding on page 41); and (c) if legumes are fall–seeded, do so in early fall.

(2) Tall fescue provides little cover for, and may be toxic to some species of wildlife. The Indiana Department of Natural Resources recognizes the need for additional research on alternatives such as buffalograss, orchardgrass, smooth bromegrass, and switchgrass. This research, in conjunction with demonstration areas, should focus on erosion control characteristics, wildlife toxicity, turf durability, and drought resistance.

Notes:

1. An oat or wheat companion or nurse crop may be used with any of the above permanent seeding mixtures, at the following rates:

a. spring oats – one–fourth to three–fourths bushel per acre

b. wheat – no more than one–half bushel per acre

2. A high potential for fertilizer, seed, and mulch to wash exists on steep banks, cuts, and in channels and areas of concentrated flow.

TREE PRESERVATION & PROTECTION

PURPOSE

To protect and insure survival of desirable existing trees from the effects of construction activity.

TREE PROTECTION

1. Protect trees from equipment damage. (Wounds provide entry for insects and disease and reduce transport of sap.)

2. If trees are damaged, repair immediately. (Repair of wounded areas allows trees to heal quickly, thus reducing insect and disease problems.)

MATERIALS REQUIRED

1. Fencing (orange safety fencing for increased visibility), snow fence ad support posts.

2. Signage.

3. Wood mulch, chips, etc.

4. Specialized equipment (brush cutter, rotary axe, hand TOOLS)

APPLICATION

1. Flag or mark all trees to be protected.

2. AVOID COMPACTION:

- Install orange fencing around the tree as far out as its crown to keep equipment off the rooting area.
- If a fence cannot be erected, cushion the rooting area with six inches of wood chips, wood or brick patters.
- Create traffic patters to keep soil compaction to a minimum.
- Store supplies and equipment away from tree areas.

3. REDUCE DAMAGE FROM GRADING:

- When clearing, use equipment such as a brush cutter or rotary axe, or cut by hand.
- Where root areas must be graded, cut large roots instead of tearing them with equipment.
- Avoid placing fill over the root system.

4. AVOID WOUNDING TREES:

- Protect trees from equipment damage by creating some type of barrier, fencing them off or wrapping individual trees with snow fencing.
- Prune low hanging limbs that could otherwise be broken by equipment.

5. REPAIR TREE DAMAGE:

- Utilize the services of a consulting forester.)
- Properly prune all damaged limbs. Avoid leaving stubs.
- Aerate soil where compaction has been excessive.
- Fertilize to improve tree growth, vigor and appearance.
- Water during dry periods to help offset soil compaction and root damage.

MAINTENANCE

- Inspect at least once every seven calendar days.
- Repair perimeter barriers if damaged.
- Inspect for damage from construction equipment, etc. Repair wounds simply by removing damaged bark and wood tissue.
- DO NOT USE TREE PAINT.
- Cable and brace any trunk splits, weak forks and large limbs.

LAND SURVEYORS' CERTIFICATION:

I, J. BERNARD FEENEY, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THIS PLAT CORRECTLY REPRESENTS A SURVEY COMPLETED OR CERTIFIED BY ME ON 9/10/2025; THAT THE LOCATION, SIZE, TYPE AND MATERIAL OF ALL MONUMENTS ARE ACCURATELY SHOWN, FURTHER, I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. BY: J. BERNARD FEENEY.

J. BERNARD FEENEY
PS #80040309
tfeeney@gowightman.com



D & M SALES DPUD
1ST AMENDMENT

Part of the Southeast Quarter of Section 16, Township 37 North, Range 7 East,
Middlebury Township, Elkhart County, Indiana.

Owner

D & M Sales, LLC
13487 County Road 22
Middlebury, Indiana 46540

Property Address

Same as above

Prepared by:

Land Surveyor: Wightman
1405 N. Michigan St.
Plymouth, In. 46530
574-936-3469

J. Bernard Feeney, PS
Registration #80040309

September 16, 2025

LEGAL DESCRIPTION PER ORIGINAL DPUD, ELKHART COUNTY RECORDS:

D & M SALES DPUD

EXISTING DESCRIPTION:

A PART OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION SIXTEEN (16), TOWNSHIP THIRTY-SEVEN (37) NORTH, RANGE SEVEN (7) EAST, MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A ¾ INCH IRON PIPE MARKING THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF SAID SECTION 16; THENCE NORTH 00 DEGREES 20 MINUTES 00 SECONDS EAST (ASSUMED BEARING) ALONG THE WEST LINE OF SAID SOUTHEAST ¼, A DISTANCE OF 417.06 FEET TO THE CENTERLINE OF COUNTY ROAD 22, THENCE NORTH 76 DEGREES 53 MINUTES 45 SECONDS EAST ALONG THE CENTERLINE OF COUNTY ROAD 22, A DISTANCE OF 248.76 FEET TO A MAG NAIL AND THE BEGINNING OF THIS DESCRIPTION; THENCE

1. NORTH 00 DEGREES 20 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF SAID SOUTHEAST ¼, A DISTANCE OF 575.65 FEET TO A REBAR WITH CAP MARKED BRADS-KO 0041; THENCE
2. NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 233.04 FEET TO A REBAR WITH CAP MARKED BRADS-KO 0041 IN THE WEST LINE OF LAND OWNED BY TK DEVELOPMENT ENTERPRISES, LLC (INSTRUMENT #98-016915) SAID LAND ALSO BEING JOMAR P.U.D. M-2 (ORDINANCE NO PC95-32); THENCE
3. SOUTH 00 DEGREES 20 MINUTES 00 SECONDS WEST ALONG SAID JOMAR P.U.D. A DISTANCE OF 521.33 FEET TO A MAG NAIL IN THE CENTERLINE OF COUNTY ROAD 22; THENCE
4. SOUTH 76 DEGREES 53 MINUTES 45 SECONDS WEST ALONG SAID CENTERLINE, A DISTANCE OF 239.60 FEET TO THE BEGINNING.

CONTAINING 2.94 ACRES, MORE OF LESS.

SUBJECT TO PUBLE RIGHTS-OF-WAY, EASMENTS AND RESTRICTIONS OF RECORD.

D & M SALES DPUD

PROPOSED DESCRIPTION:

A PARCEL OF LAND BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 37 NORTH, RANGE 7 EAST, MIDDLEBURY TOWNSHIP, ELKHART COUNTY, INDIANA AS SHOWN ON A SURVEY BEARING JOB NUMBER 251268, PREPARED AND CERTIFIED BY J. BERNARD FEENEY, PROFESSIONAL SURVEYOR #80040309 ON SEPTEMBER 10, 2025 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE PLAT OF D & M SALES DPUD RECORDED IN PLAT VOLUME 32, PAGE 25 IN THE RECORDS OF THE ELKHART COUNTY RECORDER, SAID BEGINNING POINT BEING LOCATED IN THE CENTERLINE OF COUNTY ROAD 22; THENCE SOUTH 75°59'45" WEST (ALL BEARINGS SHOWN HEREIN ARE RELATIVE TO INDIANA STATE PLANE COORDINATES AS DETERMINED FROM INCORS, EAST ZONE), ALONG SAID CENTERLINE, A DISTANCE OF 239.59 FEET TO THE SOUTHEAST CORNER OF SAID PLAT; THENCE NORTH 0°34'03" WEST ALONG THE WEST LINE OF SAID PLAT, A DISTANCE OF 193.24 FEET TO A POINT; THENCE SOUTH 89°25'57" WEST, A DISTANCE OF 9.10 FEET TO A POINT; THENCE NORTH 1°02'40" WEST ALONG A LINE EQUIDISTANT FROM TWO ADJACENT BUILDINGS, A DISTANCE OF 97.27 FEET TO A POINT; THENCE SOUTH 88°57'20" WEST A DISTANCE OF 21.28 FEET; THENCE NORTH 0°34'03" WEST PARALLEL WITH SAID WEST LINE OF LOT 1 IN SAID PLAT, A DISTANCE OF 285.14 FEET TO A POINT; THENCE NORTH 89°05'30" EAST A DISTANCE OF 23.93 FEET TO A POINT THAT IS 1 FOOT

EAST OF AN EXISTING FENCE LINE; THENCE NORTH 0°43'01" WEST, PARALLEL WITH AND 1 FOOT DISTANT FROM SAID FENCE LINE A DISTANCE OF 516.74 FEET TO THE NORTH LINE OF LANDS CONVEYED TO DEVON AND MATTIE MILLER BY INSTRUMENT NUMBER 2000-20816 IN SAID ELKHARFT COUNTY RECORDER'S OFFICE; THENCE SOUTH 89°55'32" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 241.65 FEET TO THE NORTHEAST CORNER OF SAID MILLER LANDS; THENCE SOUTH 0°34'03" EAST ALONG THE EAST LINE OF SAID MILLER LANDS AND ALONG THE EAST LINE OF SAID PLAT OF D& M SALES DPUD, A DISTANCE OF 1034.01 FEET TO THE PLACE OF BEGINNING CONTAINING 6.02 ACRES MORE OR LESS.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD, OR OTHERWISE.
SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.

1. Intention for ownership

The current owners of this site wish to construct an addition to their operations. This addition, as proposed, will add another 24,000 sq. ft. of warehouse space and 1200 sq. ft. of loading dock area to the existing 27, 1340 sq. ft. of buildings currently on site. The addition will be primarily for warehouse space to streamline the current operation. No additional parking spaces shall be provided since there is no anticipated increase in the number of employees. The site shall be serviced by the existing septic located at the southeast corner of the site and the potable water supplied by a line from the common well used by the residence and the building. All Parking lots shall be asphalt and/or concrete. Landscape criteria shall be met to satisfy the Ordinance requirements. On-site drainage is being directed to a retention basin located in the north part of the property.

2. Phasing of Project

Since this is an addition to the existing facility all construction will be accomplished in single phase.

3. Proposed Land Uses - Percentage of site for each use

- Warehousing Operation 6.02 acres or 100%.
Building Space 1.20 acres or 19.93%
Asphalt Space 0.74 acres or 12.33%
Concrete Space 0.53 acres or 8.82%
Open Space 3.55 acres or 58.97%

4. Intentions regarding water and sewer disposal

The site shall be serviced by the existing septic located at the southeast corner of the site and the potable water supplied by a line from the common well used by the residence and the building. This will be adequate since there is no anticipated increase in the number of employees at this location.

5. Listing of all deviations from the development standards required

This proposed parcel will require an M-2 zoning designation:

- (1) Deviation from the required boundary buffer screening along the west property line shall occur. No space is available along the west property line in the first 600 '. Existing buildings for the business as well as the residence prohibit buffering in the area as well as required truck turning distances west of the proposed truck dock. Buffering has been provided along the West property line where possible between future expansion area and the horse pasture to the West.

6. Dwelling densities for residential per acre

Does not apply

7. How development related with surrounding land uses

The proposed addition will be to structures that have existed on this property for as much as 20 years. The property was purchased in 2000 by Devon Miller and his wife. Since that time a portion of the property has been devoted to the business while a portion remained dedicated to the homesite. As the business has grown, the amount of land used has increased and the relationship between the residence and the business has thrived. Agricultural use is located on the north of this site and a manufacturing use is located immediately east of the proposed expansion.

8. Other information reports (see DPUD Application for details)

a) Soil Report

Soils are favorable for construction and storm water retention. The existing retention facility is to be moved to the far north end of the property to allow for possible expansion without disruption to drainage storage.

b) Municipal Sewer and Water Report

This site is in the County on CR 22 and located remotely. It is to continue to be serviced by well and septic.

c) Traffic Projection and Thoroughfare report

County Road 22 is a well-developed major arterial road in the area. No additional truck traffic or deliveries are anticipated as a result of construction of the facility. Existing entrance drives shall continue to furnish all necessary access to all parts of this facility. TIVE documentation included in submittal.

d) Project Demographic for all Residential Developments (over 5 acres)

Does not apply

e) Site Improvement Report

The addition to be constructed will service deliveries to this site. Every effort has been made to create an accessible environment for vehicular traffic. Construction of concrete pavement will be a significant portion of this development.

f) Storm water Drainage Report

Soil conditions are favorable for storage of storm water runoff. Since soils in this area have been evaluated by the Elkhart County Soil Report as suitable for this site's drainage facilities, no borings have been taken.

2026 Planning Calendar

Jurisdictions: Unincorporated Elkhart County, Town of Bristol, Town of Middlebury, Town of Millersburg, and Town of Wakarusa.

New applications will not be accepted after 3:00 p.m. (local time) on the filing deadline.

January 2026						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
				1 New Year's Day	2	3
4	5 Plan Commission Filing for Feb.	6	7	8 Plat Committee Plan Comm. Redev. Comm.	9	10
11	12 BZA Filing for February	13	14 Hearing Officer	15 Board of Zoning Appeals	16 Tech Committee	17
18	19 MLK Day	20 County Commissioners	21	22	23 Tech Corrections	24
25	26	27	28	29	30	31
February 2026						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1	2 Plan Commission Filing for March	3	4	5 Redevelopment Commission	6	7
8	9	10	11	12 Plat Committee and Plan Commission	13 Tech Committee	14
15	16 BZA Filing for March County Commissioners	17	18 Hearing Officer	19 Board of Zoning Appeals	20 Tech Corrections	21
22	23	24	25	26	27	28
March 2026						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1	2 Plan Commission Filing for April	3	4	5 Redevelopment Commission	6	7
8	9	10	11	12 Plat Committee and Plan Commission	13 Tech Committee	14
15	16 BZA Filing for April County Commissioners	17	18 Hearing Officer	19 Board of Zoning Appeals	20 Tech Corrections	21
22	23	24	25	26	27	28
29	30	31				
April 2026						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1	2 Redevelopment Commission	3 Good Friday	4
5	6 Plan Commission Filing for May	7	8	9 Plat Committee and Plan Commission	10	11
12	13 BZA Filing for May	14	15 Hearing Officer	16 Board of Zoning Appeals	17 Tech Committee	18
19	20 County Commissioners	21	22	23	24 Tech Corrections	25
26	27	28	29	30		
May 2026						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
					1	2
3	4 Plan Commission Filing for June	5	6	7 Redevelopment Commission	8	9
10	11	12	13	14 Plat Committee and Plan Commission	15 Tech Committee	16
17	18 BZA Filing for June County Commissioners	19	20 Hearing Officer	21 Board of Zoning Appeals	22 Tech Corrections	23
24	25 Memorial Day	26	27	28	29	30
June 2026						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
31	1 Plan Commission Filing for July	2	3	4 Redevelopment Commission	5	6
7	8	9	10	11 Plat Committee and Plan Commission	12 Tech Committee	13
14	15 BZA Filing for July County Commissioners	16	17 Hearing Officer	18 Board of Zoning Appeals	19 Tech Corrections	20
21	22	23	24	25	26	27
28	29	30				

2026 Planning Calendar

Jurisdictions: Unincorporated Elkhart County, Town of Bristol, Town of Middlebury, Town of Millersburg, and Town of Wakarusa.

New applications will not be accepted after 3:00 p.m. (local time) on the filing deadline.

July 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1	2	3 Independence Day (observed)	4
5	6 Plan Commission Filing for Aug.	7	8	9 Plat Committee Plan Comm. Redev. Comm.	10	11
12	13 BZA Filing for August	14	15 Hearing Officer	16 Board of Zoning Appeals	17 Tech Committee	18
19	20 County Commissioners	21	22	23	24 Tech Corrections	25
26	27	28	29	30	31	1

October 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
				1 Redevelopment Commission	2	3
4	5 Plan Commission Filing for Nov.	6	7	8 Plat Committee and Plan Commission	9	10
11	12 BZA Filing for November	13	14 Hearing Officer	15 Board of Zoning Appeals	16 Tech Committee	17
18	19 County Commissioners	20	21	22	23 Tech Corrections	24
25	26	27	28	29	30	31

August 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
2	3 Plan Commission Filing for Sept.	4	5	6 Redevelopment Commission	7	8
9	10	11	12	13 Plat Committee and Plan Commission	14 Tech Committee	15
16	17 BZA Filing for September County Commissioners	18	19 Hearing Officer	20 Board of Zoning Appeals	21 Tech Corrections	22
23	24	25	26	27	28	29
30	31 Plan Commission Filing for Oct.					

November 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1	2 Plan Commission Filing for Dec.	3 Election Day	4	5 Redevelopment Commission	6	7
8	9	10	11 Veterans' Day	12 Plat Committee and Plan Commission	13 Tech Committee	14
15	16 BZA Filing for December County Commissioners	17	18 Hearing Officer	19 Board of Zoning Appeals	20 Tech Corrections	21
22	23	24	25	26 Thanksgiving Day	27 Thanksgiving Holiday	28
29	30					

September 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
		1	2	3 Redevelopment Commission	4	5
6	7 Labor Day	8	9	10 Plat Committee and Plan Commission	11 Tech Committee	12
13	14 BZA Filing for October	15	16 Hearing Officer	17 Board of Zoning Appeals	18 Tech Corrections	19
20	21 County Commissioners	22	23	24	25	26
27	28	29	30			

December 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
		1	2	3 Redevelopment Commission	4	5
6	7 Plan Commission Filing for Jan.	8	9	10 Plat Committee and Plan Commission	11	12
13	14 BZA Filing for January	15	16 Hearing Officer	17 Board of Zoning Appeals	18 Tech Committee	19
20	21 County Commissioners	22	23	24 Christmas Eve	25 Christmas Day	26
27	28 Tech Corrections	29	30	31		

TO: Plan Commission

FROM: H. Jason Auvil, Planning Manager & Zoning Administrator

SUB: Approvals of Plan Commission Recommendations

The following petitions were **APPROVED** at the September 22, 2025, Elkhart County Commissioners' meeting:

- 1.. Petitioner: Conservative Business Concepts LLC represented by Abonmarche Consultants
 Petition: for a zone map change from GPUD B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as ***BROOKVIEW FARMS PHASE 1 DPUD B-3 AMENDMENT.***
 Location: northeast corner of Fernbrook Rd. & CR 142, west side of SR 15, common address of 67470 Fernbrook Rd. in Jackson Township. (DPUD-0445-2025)
 Plan Commission Vote: Yes: 7; No: 0; Absent: 2
 Remonstrators Present: No
 Development Issues: None

2. Petitioner: Igor Doroshenko & Nina Mamalat Doroshenko, Husband & Wife & Andriy Doroshenko & Katya Doroshenko, Husband & Wife represented by B. Doriot & Associates, Inc.
 Petition: for a zone map change from A-1 to DPUD A-1 and for primary approval of an 8-lot major subdivision to be known as ***DOROSHENKO A-1 DPUD.***
 Location: south side of CR 118, 1,700 ft. west of Old CR 17, in Concord Township
 Plan Commission Vote: Yes: 7; No: 0; Absent: 2 (DPUD-0441-2025)
 Remonstrators Present: Yes
 Development Issues: There were many concerns presented by the neighbors, including neighborhood safety, increases in traffic, noise, light pollution, and environmental concerns such as impacts on the water table, wells, septic systems, & wildlife habitat.