

STAFF/BOARD ITEMS *(time of review at the discretion of the Plan Commission)*

➤ *Board of County Commissioners Approvals Following Plan Commission Recommendations.*

ADJOURNMENT

Phil Barker – County Surveyor: no term

Steven Edwards – Appointed by Commissioners: term 1/1/23 – 12/31/26

Steve Warner - Appointed by Commissioners: term 1/1/23 – 12/31/26

Lori Snyder - Appointed by Commissioners: term 1/1/25 – 12/31/28

Steven Clark – County Council Liaison: no term

Brad Rogers – County Commissioners Liaison: no term

Brian Dickerson – Appointed by Commissioners: term 1/1/26 – 12/31/29

Roger Miller – Appointed by Commissioners: term 1/1/25 – 12/31/28

PLAN MINUTES
ELKHART COUNTY PLAN COMMISSION MEETING
HELD ON THE 11TH DAY OF JUNE 2026 AT 9:30 A.M. IN THE
MEETING ROOM OF THE PUBLIC SERVICE BUILDING
4230 ELKHART RD., GOSHEN, INDIANA

1. The regular meeting of the Elkhart County Plan Commission was called to order by the Chairman, Steve Warner. The following staff members were present: Mae Kratzer, Plan Director; Jason Auvil, Planning Manager; Danny Dean, Planner; Danielle Richards, Planner; Laura Gilbert, Administrative Coordinator; and Don Shuler, Attorney for the Board.

Roll Call.

Present: Philip Barker, Steven Edwards, Steve Warner, Lori Snyder, Steve Clark, Brad Rogers, Roger Miller.

Absent: Brian Dickerson.

2. A motion was made and seconded (*Edwards/Snyder*) that the minutes of the last regular meeting of the Elkhart County Plan Commission, held on the 14th day of May 2026, be approved as submitted. The motion was carried with a unanimous vote.

3. A motion was made and seconded (*Clark/Edwards*) that the Elkhart County Development Ordinance be accepted as evidence for today's hearings. The motion was carried with a unanimous vote.

4. The application for an amendment to an existing DPUD A-1 to allow for an additional building and to split the property, and for primary approval of a 2-lot minor subdivision to be known as FIRST AMENDMENT TO 58225 HOLDING LLC DPUD A-1, for 58225 Holding LLC represented by B. Doriot & Associates, Inc., on property located on the west side of SR 15, 1,030 ft. south of CR 18, common address of 58209 SR 15 Goshen, IN 46528 in Jefferson Township, zoned A-1, was presented at this time.

Jason Auvil presented the Staff Report/Staff Analysis, which is attached for review as *Case #DPUD-0265-2026*.

Blake Doriot, B. Doriot & Associates, P.O. Box 465, New Paris was present representing the petitioner. He mentioned the new structure will be used to manufacture cabinets and storage. He stated the house is being split off since the use is different. He also mentioned there will adequate entrance with no additional curb cuts for the house or business.

There were no remonstrators present.

A motion was made and seconded (*Rogers/Clark*) that the public hearing be closed, and the motion was carried with a unanimous vote.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Brad Rogers, **Seconded by** Steve Clark that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for an amendment to an existing DPUD A-1 to allow for an additional building and to split the property, and for primary approval of a 2-lot minor subdivision to be known as FIRST AMENDMENT TO 58225 HOLDING

LLC DPUD A-1 be approved in accordance with the Staff Analysis.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 7).

Yes: Phil Barker, Steve Edwards, Steve Warner, Lori Snyder, Steve Clark, Brad Rogers, Roger Miller.

5. The application for a zone map change from A-1 to DPUD A-1 and for primary approval of a 1-lot minor subdivision to be known as ELITE DESIGN'S COUNTY ROAD 35 SUBDIVISION DPUD, for Jeremy L. Yoder & Norma Yoder, Husband & Wife & Maynard E. Yoder & Rosetta Yoder, Trustees of the Yoder Family Revocable Living Trust represented by Wightman, on property located on the west side of CR 35, 850 ft. south of CR 28, in Middlebury Township, zoned A-1, was presented at this time.

Danny Dean presented the Staff Report/Staff Analysis, which is attached for review as *Case #DPUD-0179-2026*.

Dan Yurks, Wightman, 1402 East Mishawaka Ave., South Bend, was present representing the petitioner. He explained they worked with Highway to put the driveway in the best spot on the property, and they will be adding the passing blister. He stated the retention pond was designed for what buildings are present and future expansion.

There were no remonstrators present.

A motion was made and seconded (*Rogers/Miller*) that the public hearing be closed, and the motion was carried with a unanimous vote.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Brad Rogers, **Seconded by** Steve Clark that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for a zone map change from A-1 to DPUD A-1 and for primary approval of a 1-lot minor subdivision to be known as ELITE DESIGN'S COUNTY ROAD 35 SUBDIVISION DPUD be approved in accordance with the Staff Analysis.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 7).

Yes: Phil Barker, Steve Edwards, Steve Warner, Lori Snyder, Steve Clark, Brad Rogers, Roger Miller.

6. Board of County Commissioners Approvals Following Plan Commission Recommendations

Jason Auvil reported on the May 18, 2026, County Commissioners Meeting approvals. Mr. Warner asked if the change to the Development Ordinance was changed on the website. Mr. Auvil stated it was effective the date of the Commissioner's approval.

7. Mae Hope presented the Agreement for Joint Representation/Conflict letter for Yoder Ainlay Ulmer & Buckingham, Attorney Jackson Beck. She went on to thank Don Shuler for his years of service in the County. Mr. Clark stated Mr. Beck also represents the Town of Middlebury, and asked how conflicts will be handled. He mentioned it is different when it is the same attorney representing them vs. the firm. He firmly stated he has an issue with that direct conflict since Middlebury tends to be frequently. Mr. Beck stated he would not view it as a direct conflict, in those scenarios, because

the Plan Commission is serving as an appointed body for the Town of Middlebury. He stated the Plan Commission makes a recommendation to the Town Council. He explained his firm also represents the County Commissioners, which he sees as a similar relationship. Mr. Clark mentioned there was an expansion of a TIF district that was voted down, and Mr. Beck presented it. Mr. Beck stated that was for expansion of a TIF district for Middlebury Redevelopment Commission. He explained it wasn't voted down; it was tabled. He stated he was there to answer any questions and would not see that as an adverse conflict. He mentioned he would do the same for County Redevelopment. He stated that for the TIF to be approved it must work its way through the various boards and approvals. He did mention he had helped petitioners with development of plat approvals, but that will no longer happen. Mr. Clark expressed he still sees it as a conflict. He stated he would have mentioned his concerns earlier, if he knew that's why Mr. Beck was present at the meetings. Mr. Clark stated he was under the impression he was here for Middlebury. Ms. Hope stated Mr. Beck has been taking over as the Board Attorney the plan for the last six months. Mr. Rogers thanked Don for his service. Mr. Shuler mentioned he started at the firm over 20 years ago and started doing work for the County then. Mr. Warner also thanked Mr. Shuler for his service.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Lori Snyder, **Seconded by** Steve Warner that the Joint Representation/Conflict Letter for Attorney Beck be approved.

Vote: Motion passed (**summary:** Yes = 6, No = 1, Abstain = 0).

Yes: Phil Barker, Steve Edwards, Steve Warner, Lori Snyder, Brad Rogers, Roger Miller

No: Steve Clark.

8. Mae Hope presented the Agreement for Legals Services for Yoder Ainlay Ulmer & Buckingham, Attorney Jackson Beck, to be effective as of July 1, 2026-July 1, 2027.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Brad Rogers, **Seconded by** Roger Miller that the Agreement for Legal Service for Yoder Ainlay Ulmer & Buckingham, Attorney Jaxon Beck for July 1, 2026-July 1, 2027 be approved.

Vote: Motion passed (**summary:** Yes = 6, No = 1, Abstain = 0).

Yes: Phil Barker, Steve Edwards, Steve Warner, Lori Snyder, Brad Rogers, Roger Miller

No: Steve Clark.

9. A motion was made and seconded (*Miller/Clark*) that the meeting be adjourned. The motion was carried with a unanimous vote, and the meeting was adjourned at 9:48 a.m.

Respectfully submitted,

Amber Weiss, Recording Secretary

Steve Warner, Chairman

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: July 9, 2026

Transaction Number: VRW-0343-2026.

Parcel Number(s): 20-02-36-352-001.000-009, 20-02-36-352-002.000-009, 20-02-36-352-003.000-009, 20-02-36-352-004.000-009, 20-02-36-352-005.000-009, 20-02-36-353-001.000-009, 20-02-36-353-002.000-009, 20-02-36-353-003.000-009, 20-02-36-353-004.000-009, 20-02-36-353-005.000-009, 20-02-36-353-006.000-009.

Existing Zoning: R-1.

Petition: For a vacation of a subdivision plat known as MARINEHAVEN.

Petitioner: GGT Real Estate Inc., represented by Taft, Stettinius & Hollister, LLP.

Location: North side of SR 120, 950 ft. east of CR 15, in Concord Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	R-1	Vacant
North	R-1	St. Joseph River
South	R-1	Residential
East	R-1	Residential
West	R-1	Residential

Site Description: The subject property consists of 10 lots, one outlot, and right-of-way area totaling 4.85 acres, is rectangular in shape, and is located along the St. Joseph River. The property has never been developed.

History and General Notes:

- The R-1 zoning for the subject property was established as part of the original zoning on 10/30/1959.
- **August 17, 1964** – The Board of County Commissioners approved Marinehaven Subdivision.
- **March 22, 1965** – Marinehaven Subdivision was recorded.
- Indiana Code Section 36-7-3-10 allows for undeveloped recorded plats to be vacated by the property owner(s) with the approval of the Plan Commission that has jurisdiction over the platted area under IC 36-7-4 or the Plat Committee acting on behalf of the plan commission.

Zoning District Purpose Statement: The purpose of the R-1, Single-Family Residential, zoning district is to accommodate single-family detached dwellings and other compatible and supporting uses on medium sized lots within a subdivision.

Plan Commission Staff Report (Continued)

Hearing Date: July 9, 2026

Staff Analysis: The purpose of this petition is to allow for the vacation of the Marinehaven Subdivision.

Staff Analysis Continued: The staff, after reviewing this petition with the assistance of the Elkhart County Technical Committee, recommends **APPROVAL** of this subdivision vacation.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

VRW-0343-2026

Vacation of Right of Way - Vacation of Right of Way

Date: 06/01/2026 Meeting Date: July 09, 2026 Transaction #: VRW-0343-2026
Plan Commission Hearing (Rezoning)

Description: FOR A VACATION OF A SUBDIVISION KNOWN AS MARINEHAVEN

<u>Applicant</u>	<u>Authorized Agent</u>	<u>Petitioner</u>
Ggt Real Estate Inc	Taft Stettinius & Hollister Llp	Ggt Real Estate Inc
P.O. Box 219	One Indiana Square	P.O. Box 219
Bristol, IN 46507	Indianapolis, IN 462042023	Bristol, IN 46507

Site Address: 00000 Marina Drive ELKHART, IN 46516	Parcel Number:	20-02-36-352-001.000-009 20-02-36-352-002.000-009 20-02-36-352-003.000-009 20-02-36-352-004.000-009 20-02-36-352-005.000-009 20-02-36-353-001.000-009 20-02-36-353-002.000-009 20-02-36-353-003.000-009 20-02-36-353-004.000-009 20-02-36-353-005.000-009 20-02-36-353-006.000-009
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Township: Concord
Location: NORTH SIDE OF SR 120, 905 FT. E OF CR 15

Subdivision: Lot #

Lot Area: Frontage: Depth:

Zoning: R-1 NPO List:

Present Use of Property:

Legal Description:

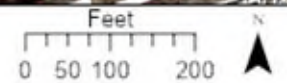
Comments:

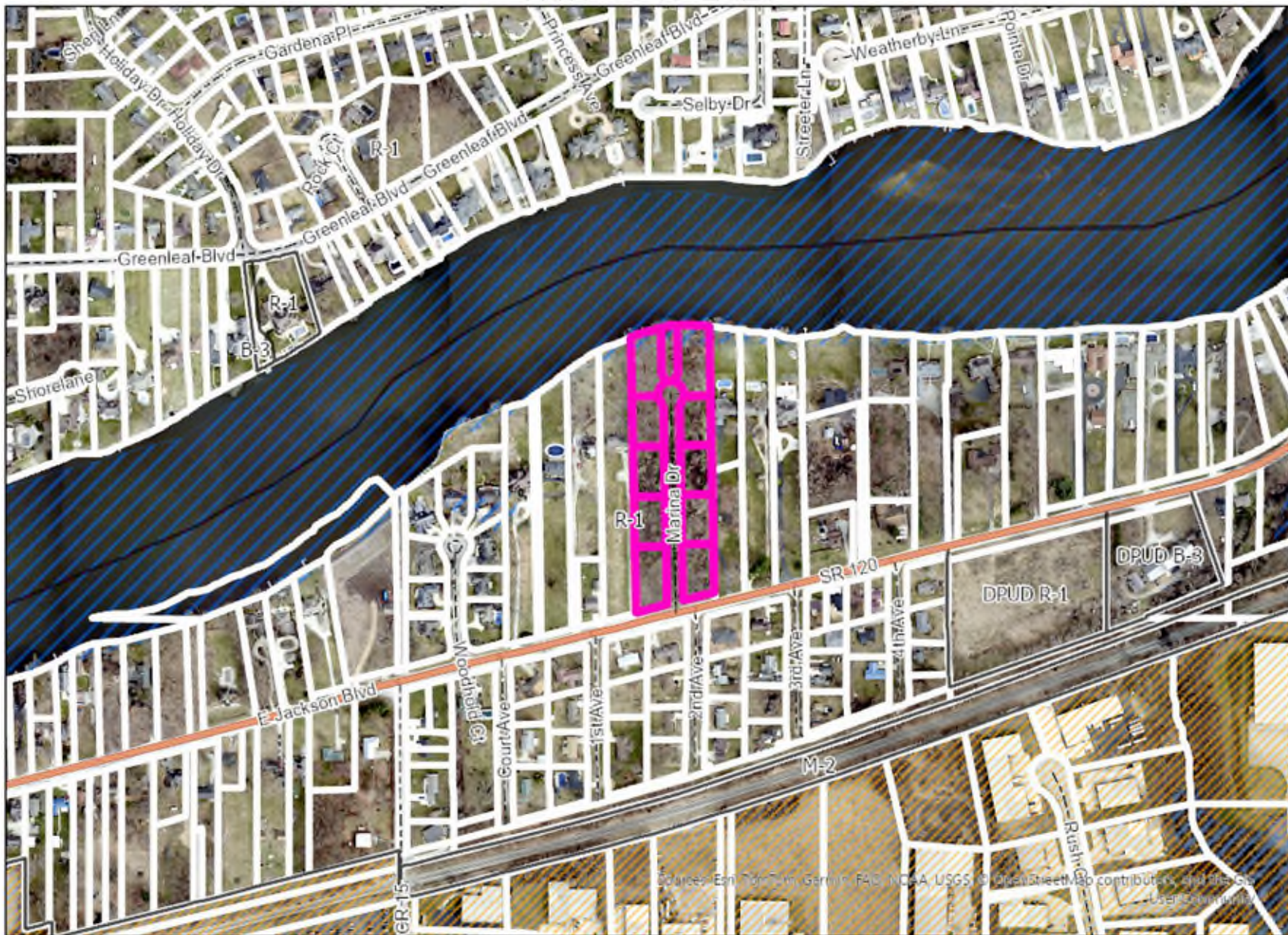
Applicant Signature: Department Signature:



2025 Aerials

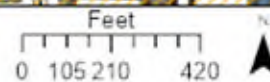
1 inch equals 200 ft

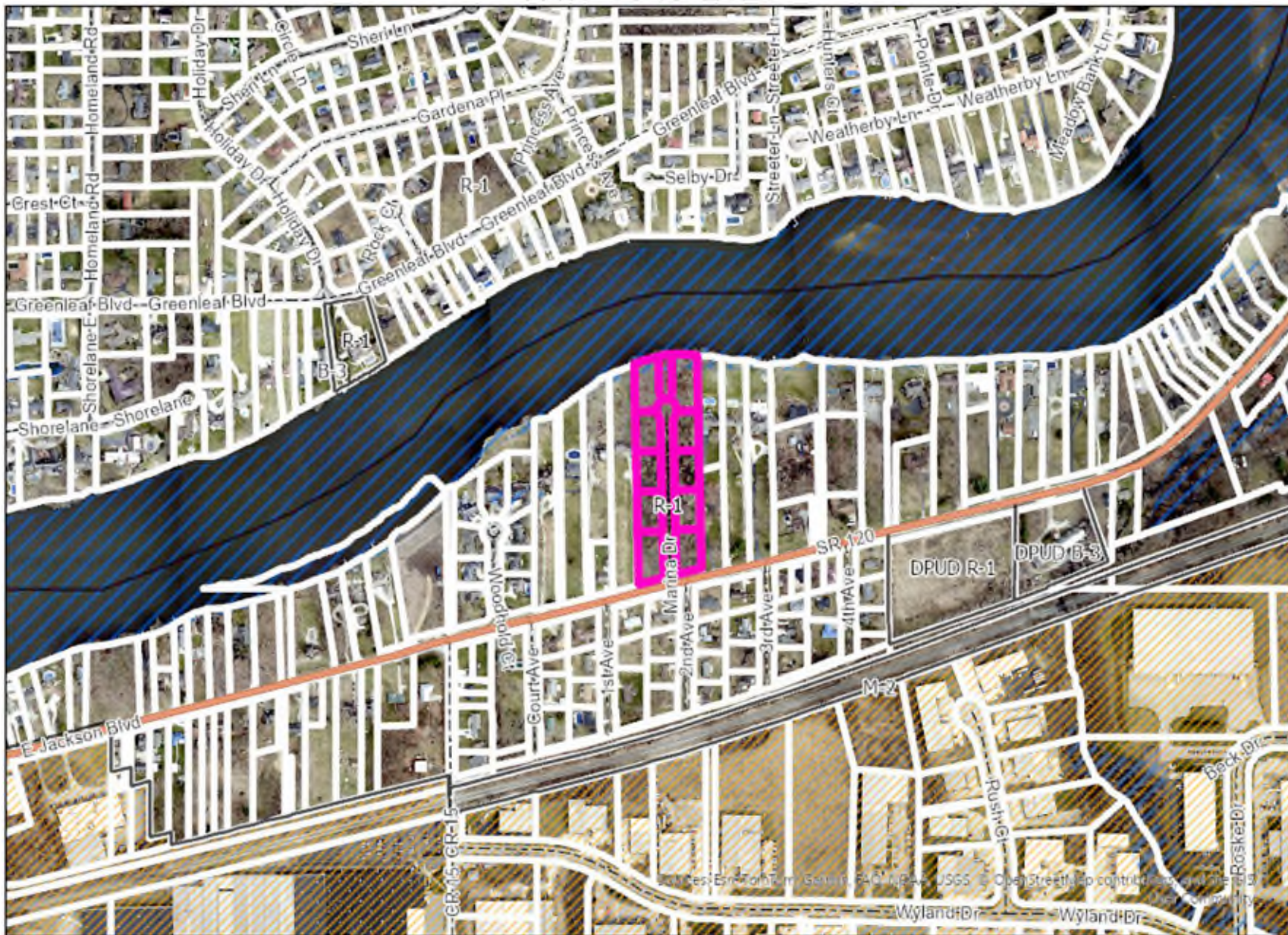




2025 Aerials

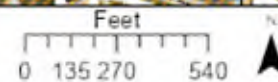
1 inch equals 400 ft





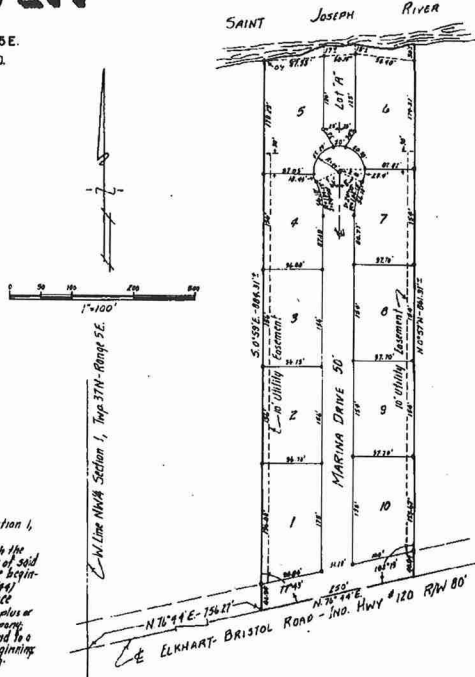
2025 Aerials

1 inch equals 500 ft



MARINEHAVEN

PART SW 1/4 SECTION 36, T.38N., R.5E.
 CONCORD TWP. ELKHART CO.
 INDIANA
 Scale: 1" = 100'



DESCRIPTION: Part of the SW 1/4 of Section 36, Township 38 North, Range 5 East, and Section 1, Township 37 North, Range 5 East, more particularly described as follows: Commencing at the intersection of the west line of said section one (1) with the center line of the Elkhart-Bristol Road, thence northwesterly along the center of said road seven hundred fifty-six and twenty-seven hundredths (756.27) feet, for the beginning point of this description; thence North seventy-six (76) degrees forty-four (44) minutes east along the center line of said road two hundred fifty (250) feet; thence north zero (0) degrees fifty-seven (57) degrees west eight hundred sixty-one (861) plus or minus feet to the St. Joseph River or land of the Indiana Michigan Electric Company, thence westerly along said river or said Indiana Michigan Electric Company's land to a point which is north zero (0) degrees fifty-nine (59) minutes west of the place of beginning thence south zero (0) degrees fifty-nine (59) minutes east to the place of beginning, containing approximately 4.85 Acres of land.

LOCATION: Know all men by these presents that we the undersigned as promoters have caused the above described land to be surveyed and subdivided as shown on the above drawn plat, that this plat is to be known as 'Marinehaven' and that the lots are numbered and have their respective dimensions given in feet and decimals thereof; and that the streets as shown on said plat are hereby dedicated for public use.

(County of Elkhart) ss: Raymond C. White, Maria M. White
Raymond D. Drury, Lawrence Lambing

Between the undersigned Henry Public in and for said County and State come the above named Raymond C. White, Maria M. White, and Raymond D. Drury, Lawrence Lambing and acknowledged the execution of this plat.

Witness my hand and Notarial Seal this 4th day of August, 1944.
Raymond D. Drury, Byron M. Drury, RLS No. 7102
 My Commission expires Dec. 15, 1946.

CERTIFICATION: I hereby certify that I have surveyed the above described real estate and have subdivided the same into lots as shown above, that this plat represents said survey in every detail, and that the plat is correct and true in every particular.

Raymond D. Drury, Byron M. Drury, RLS No. 7102

Approved by the Elkhart County Plan Commission this 1st day of August, 1944.
Raymond D. Drury, Byron M. Drury, RLS No. 7102

Approved by the Elkhart County Board of Commissioners this 12th day of August, 1944.
Robert L. Shively, Charles F. Garber, William B. Light

Duly entered for taxation this 22nd day of March, 1945. Fee: \$3.00
Charles F. Garber, Auditor, Elkhart County

Received for record this 22nd day of March, 1945 of 1st page recorded in
 Plat Record 9 Page 36 Number 458766 Page 4 of 4

William B. Light, Recorder, Elkhart County

- RESTRICTIONS:**
1. No lot shall be used except for residential purposes.
 2. No Pier, Dock, or other Structure extending beyond the waters edge shall be constructed, erected or installed from the E 1/2 of Lot 5 or from the W 1/2 of Lot 6.
 3. No structure of a temporary character, trailer, basement, tent, shack, garage, barn or other outbuilding shall be used on any lot of any time as a residence either temporarily or permanently.
 4. No animals, livestock or poultry of any kind shall be raised, bred or kept on any lot, except that dogs, cats or other household pets may be kept provided that they are not kept, bred or maintained for any commercial purpose.
 5. No individual sewage disposal system shall be permitted on any lot unless such system is designed, located and constructed in accordance with the requirements, standards and recommendations of the Indiana State Board of Health. Approval of such system as installed shall be obtained from such authority.
 6. These covenants are to run with the land and shall be binding on all parties and persons claiming under them for a period of twenty (20) years from the date these covenants are recorded, after which time said covenants shall be automatically extended for successive periods of ten (10) years unless an instrument signed by a majority of the then owners of the lots has been recorded, agreeing to change said covenants in whole or in part.
 7. Enforcement shall be by proceedings at law or equity against any person or persons violating or attempting to violate any covenant either to restrain violation or to recover damages.
 8. Invalidation of any one of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.



Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: July 9, 2026

Transaction Number: GPUD-0335-2026.

Parcel Number(s): 20-07-22-327-007.000-019.

Existing Zoning: B-1.

Petition: For a zone map change from B-1 to a GPUD B-3 to be known as 58640 STATE ROAD 15 GPUD B-3.

Petitioner: W & J LLC (Seller) & Deep Petroleum, Inc. (Buyer), represented by Surveying & Mapping, LLC.

Location: East side of SR 15, 950 ft. south of CR 20, in Jefferson Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	B-1	Former International Code Council offices and facilities
North	B-1	Retail store
South	A-1	Residential
East	A-1	Residential
West	M-1, B-3	Manufacturing, residential

Site Description: The subject property is the 3.22-acre former site of a facility for standards compliance and product certification. It is bordered at the east and south by homes and at the north and west by business and manufacturing uses. The site has 304 ft. of frontage on SR 15, an existing access point, four buildings on the east side that will remain, and one at the center that will be demolished.

History and General Notes:

- **September 15, 1975** – The BCC approved a rezoning from A-1 to B-1 for the north 2.56 acres to allow the construction of a bank branch.
- **Circa 1984** – The property was sold to an engineering firm and the site was converted to use for standards compliance and product certification.
- **June 3, 1996** – The BCC approved a rezoning from A-1 to B-1 for the south 0.65 acres to allow added parking for converted vans undergoing testing.
- **1994, 1999, 2017** – Developmental Variances were approved to allow rear and south property line encroachments for additions to the main east building and construction of the south building.

Plan Commission Staff Report (Continued)

Hearing Date: July 9, 2026

Zoning District Purpose Statements: The purpose of the GPUD, General Planned Unit Development, Overlay zoning district is to allow an applicant the benefit of flexibility in development in exchange for increased public or private amenities that go beyond the requirements of the Development Ordinance. The purpose of the B-3, Heavy Business, zoning district is to accommodate higher impact community and regional developments. The district also accommodates uses related to vehicular travel, interstate commerce, heavy equipment, trucking and outdoor storage. The zoning district is appropriately applied adjacent to interstates and major state or county highways.

Staff Analysis: The purpose of this rezoning petition is to allow the reuse of an existing commercial site for fuel sales, a convenience store, and merchandise and equipment storage.

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. The plan states that commercial development should be directed to transportation corridors and that reuse of commercial sites should be encouraged. The site has existing direct access to SR 15 and has been zoned for commercial use since 1975.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. The existing B-3 and M-1 on the west side of SR 15 were approved in 1959 and 1962, the B-1 north of the subject property was approved in 2016, and the subject property itself has been used for professional offices and a testing facility for the last 40 years.
3. The most desirable use of the subject property is any mixture of general and heavy business.
4. The request conserves property values. Scope of development on the site is limited by overall property size (3.22 acres) and area reserved to meet septic, retention, buffering, and setback requirements.
5. The proposed rezoning promotes responsible growth and development. The intersection of SR 15 and CR 20 has been a node of mixed commercial and residential activity since zoning was first implemented in the county. The proposed use will fulfill comprehensive plan directives and serve area residents, and development will not begin until a separate DPUD is submitted and approved.

Staff Analysis Continued: The staff, after reviewing this petition with the assistance of the Elkhart County Technical Committee, recommends **APPROVAL** of this GPUD.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

General PUD - General PUD

GPUD-0335-2026

Date: 05/29/2026 Meeting Date: July 09, 2026 Transaction #: GPUD-0335-2026
Plan Commission Hearing (PUD)

Description: for a zone map change from B-1 to a GPUD B-3 to be known as 58640 STATE ROAD 15 G.P.U.D. B-3

<u>Land Owner</u>	<u>Land Owner</u>	<u>Private Surveyor</u>
W & J Llc 58640 Sr 15 Goshen, IN 46528	Deep Petroleum Inc 57592 Hearthstone Ct Goshen, IN 46528	Surveying And Mapping Llc 2810 Dexter Dr. Elkhart, IN 46514

Site Address: 58640 State Road 15 Goshen, IN 46528	Parcel Number: 20-07-22-327-007.000-019
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Township: Jefferson
Location: East Of Sr 15, 950 Feet South Of County Road 20

Subdivision:	Lot #
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Lot Area:	Frontage:	Depth:
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Zoning: A-1, B-1	NPO List:
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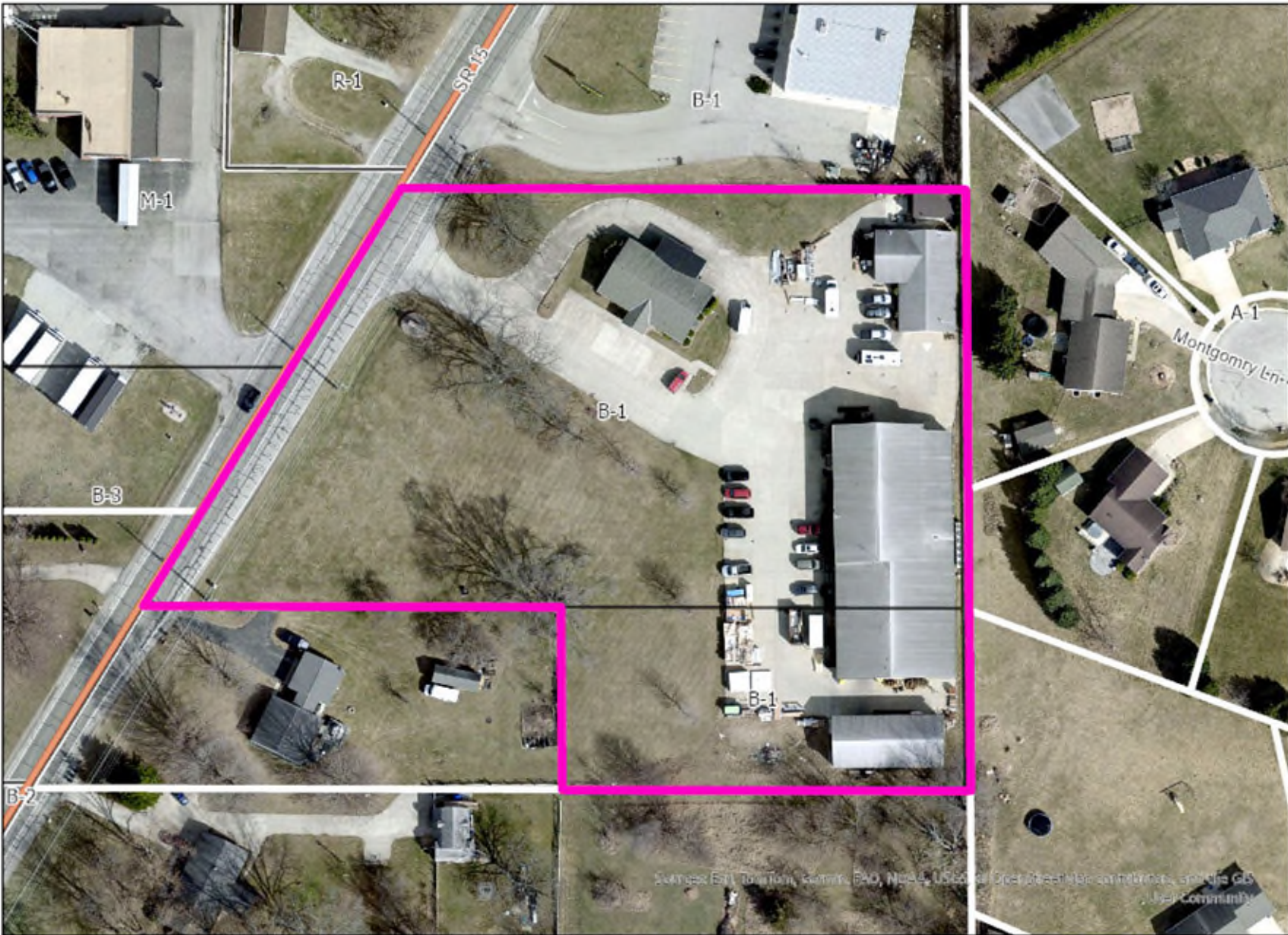
Present Use of Property: COMMERCIAL

Legal Description:

Comments:

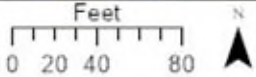
Applicant Signature:

Department Signature:

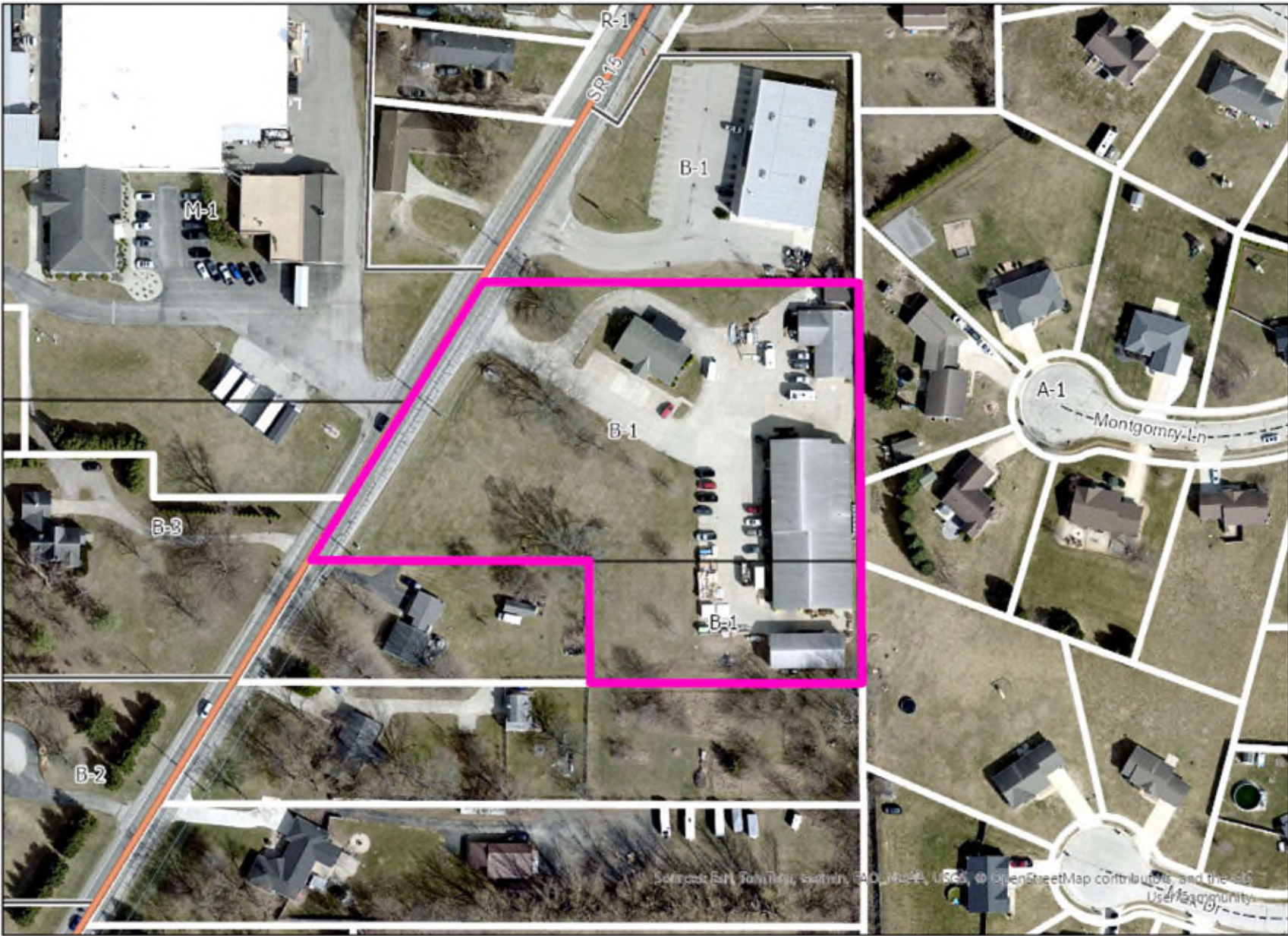


2025 Aerials

1 inch equals 80 ft

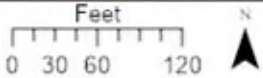


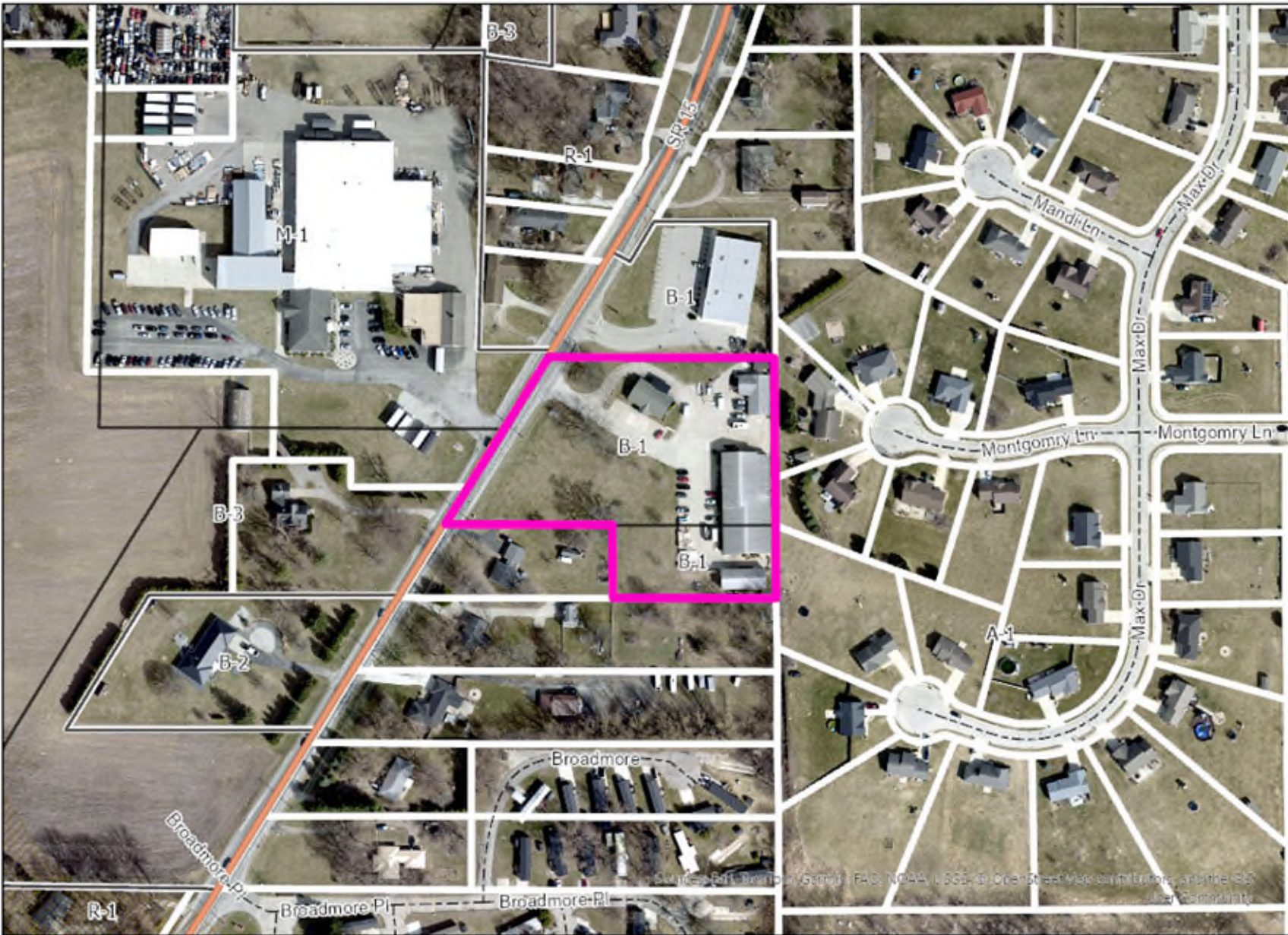
Source: Esri, TomTom, Garmin, BAO, NOAA, USGS, and OpenStreetMap contributors, and the GIS User Community



2025 Aerials

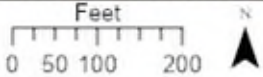
1 inch equals 120 ft



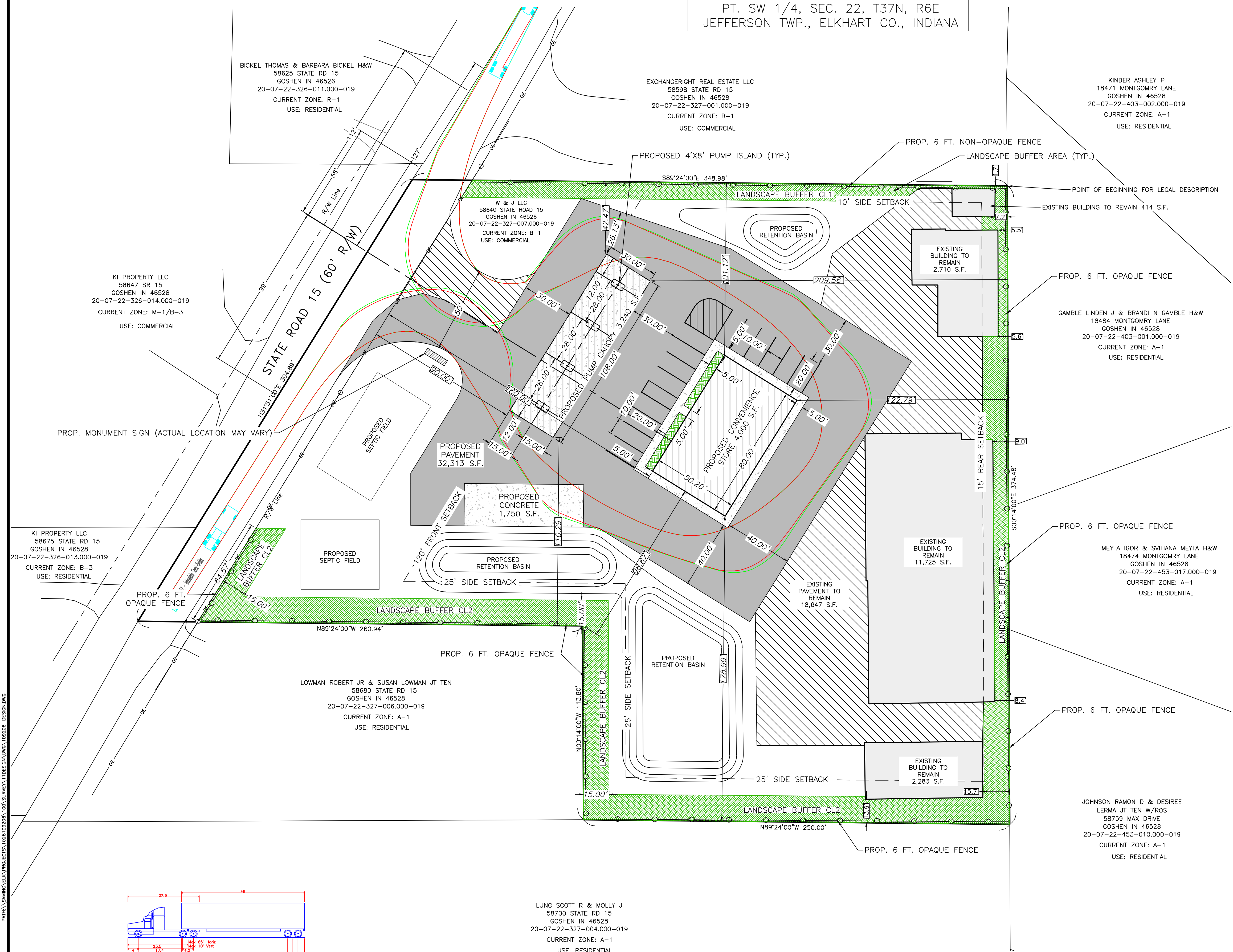
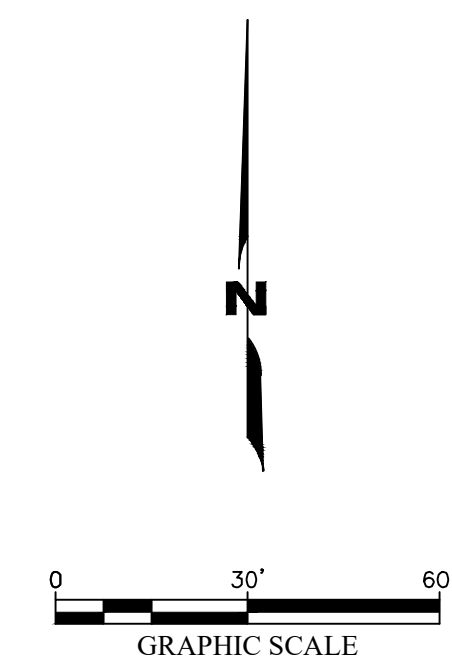


2025 Aerials

1 inch equals 200 ft



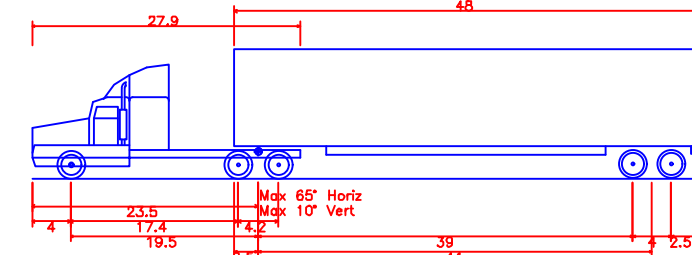
58640 STATE ROAD 15 G.P.U.D. B-3
PT. SW 1/4, SEC. 22, T37N, R6E
JEFFERSON TWP., ELKHART CO., INDIANA



Legal Description—Doc.2003-32270
A part of the Southwest Quarter (SW 1/4) of Section 22, Township 37 North, Range Six (6) East, Jefferson Township, Elkhart County, Indiana, more particularly described as follows:

Commencing at a P.K. nail in State Highway No. 15 and marking the Northeast corner of the Southwest Quarter (SW 1/4) of Section Twenty-two (22), Township Thirty-seven (37) North Range Six (6) East, Jefferson Township, Elkhart County, Indiana; thence South 00 degrees 14 minutes East along the East line of said Southwest Quarter (SW 1/4) a distance of 820.75 feet to an iron pipe and the beginning of this description; thence continuing South 00 degrees 14 minutes East along said East line, a distance of 374.48 feet to an iron pipe; thence North 89 degrees 24 minutes West, a distance of 250.00 feet to a rebar with cap; thence North 00 degrees 14 minutes West parallel to said East line a distance of 113.80 feet to a rebar with cap; North 89 degrees 24 minutes West a distance of 260.94 feet to a P.K. nail in the centerline of State Highway No. 15; thence North 31 degrees 51 minutes East along said centerline, a distance of 304.89 feet to a P.K. nail; thence South 89 degrees 24 minutes East, a distance of 348.98 feet to the beginning.

- SITE PLAN NOTES:**
- ZONING:**
 - CURRENT ZONE: B-1
 - PROPOSED ZONE: G.P.U.D. B-3
 - PROPOSED USE: CONVENIENCE STORE, FUEL PUMP CANOPY, OWNER'S BUSINESS OFFICE AND STORAGE IN EXISTING BUILDINGS.
 - SETBACKS: ZONE B-3**
 - FRONT: 120 FT. ON STATE HIGHWAY
 - SIDE (NORTH): 10 FT.
 - SIDE (SOUTH): 25 FT. ADJOINING RESIDENTIAL ZONE OR USE
 - REAR: 15 FT.
 - PAVEMENT SETBACK: 55 FT. FROM ROAD CENTERLINE
 - BUFFERING AND SCREENING**
 - BUFFER REQUIREMENTS:**
 - CLASS 1 BETWEEN B-3 AND B-1 (NORTH)
 - TYPE B: 15 FT. WIDTH, 2 TREES AND 26 EVERGREEN SHRUBS PER 100 FT. OF PROPERTY LINE WITH NON-OPAQUE FENCE.
 - CLASS 2 BETWEEN B-3 AND RESIDENTIAL USE OR ZONE (WEST, SOUTH AND SOUTH PART OF EAST)
 - TYPE B: 15 FT. WIDTH, 3 TREES AND 9 EVERGREEN SHRUBS PER 100 FT. OF PROPERTY LINE WITH OPAQUE FENCE.
 - PLANT SIZE REQUIREMENTS:**
 - TREES: MIN. 8 FT. HEIGHT AT PLANTING
 - TREES: MAX. MATURE HEIGHT OF 20 FT. BELOW OVERHEAD ELECTRIC LINES (EAST)
 - EVERGREEN SHRUBS: MIN. 4 FT. HEIGHT AT PLANTING
 - FENCE REQUIREMENTS**
 - MIN. 6 FT. AND MAX. 9 FT. HEIGHT
 - NON-OPAQUE FENCE: WROUGHT IRON, VINYL OR OTHER APPROVED MATERIAL
 - OPAQUE FENCE: WOOD, VINYL, METAL OR OTHER APPROVED MATERIAL
 - POSTS: MIN. 40 FT. SPACING
 - PARKING REQUIREMENTS:**
 - FUEL SALES: 1 PER 250 FT. RETAIL SALES AREA
 - PROPOSED BUILDING: 4,000 F.T., 3,000 S.F. RETAIL SALES AREA: 3000/250 = 12 PARKING SPACES
 - PARKING PROVIDED: 1 HANDICAP, 13 STANDARD = 14 PARKING SPACES
 - ENGINEER:**
 - DEBRA HUGHES, P.E., SURVEYING AND MAPPING LLC, 2810 DEXTER DRIVE, ELKHART IN 46514
 - EMAIL: DEBRA.HUGHES@SAM.BIZ, PHONE: 574-266-1010
 - BOUNDARY: PROPERTY AREA: 140,518 S.F., 3.23 AC.**
 - UTILITY PLAN: PROPOSED BUILDINGS TO BE SERVED BY ON-SITE WATER SUPPLY WELL AND SEPTIC SYSTEM.**
 - DRAINAGE: PROPOSED SITE DRAINAGE TO BE COLLECTED IN ON-SITE DRAINAGE RETENTION BASINS. DRAINAGE STRUCTURES AND DRAINAGE PIPE TO BE USED.**
 - TRAFFIC DATA:**
 - POSTED SPEED LIMIT ON STATE ROAD 15 IS 45 M.P.H.
 - REQUIRED INTERSECTION SIGHT DISTANCE FOR 45 MPH: 500 FT.
 - ACTUAL SIGHT DISTANCE: 680 FT. FOR SOUTHBOUND VEHICLE, 750 FT. FOR NORTHBOUND VEHICLE



WB-62 - Interstate Semi-Trailer
Overall Length 72.2
Overall Width 4.6
Overall Body Height 11.5
Min Body Ground Clearance 1.3
Max Track Width 8.5
Lock-to-lock Time 28.40
Max Steering Angle (Virtual)

NRCS Soil Map Legend

Map Unit Symbol	Map Unit Name	Natural Drainage Class	Runoff Class	Depth to Water Table	Capacity of the most limiting layer to transmit water
OmgA	Osolo loamy sand, 0 to 1 percent slopes	Well drained	Negligible	About 42 to 72 inches	High to very high (6.00 to 20.00 in/hr)

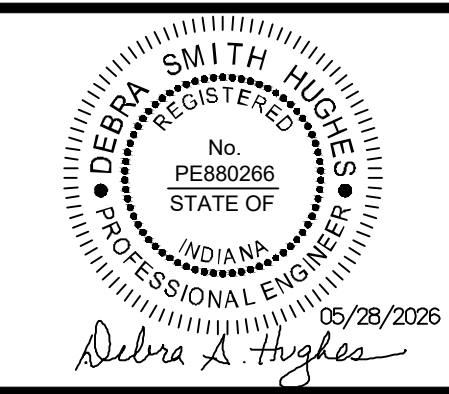
Preliminary Drawing - Not for Construction

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		
7		
8		



2810 Dexter Drive
Elkhart, IN 46514
Phone: 574-266-1010
Email: info@sam.biz

DRAWING FILE: 109206-DESIGN.DWG
CERTIFICATION DATE: 05/28/2026
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: NONE
ENGINEER: Debra S. Hughes, P.E.
TECHNICIAN: VW



PROPOSED SITE PLAN
DEEP PETROLEUM INC., 58640 STATE ROAD 15,
PT. SW 1/4, SEC. 22, T37N, R6E,
JEFFERSON TWP., ELKHART CO., INDIANA
JOB NUMBER: 1026109206

General Planned Unit Development
to be known as

58640 State Road 15 G.P.U.D. B-3

Situated in the Southwest Quarter, Section 22,
Township 37 North, Range 6 East,
Jefferson Township, Elkhart County, Indiana

Tax ID Number: 20-07-22-327-007.000-019

Address: 58640 State Road 15, Goshen IN 46526

Surveying and Mapping, LLC

2810 Dexter Drive
Elkhart, Indiana 46514
Phone 574.266.1010
Fax 574.262.3040
Debra S. Hughes, P.E.
Indiana Professional Engineer 60880266
Email: debra.hughes@sam.biz
May 27, 2026

G.P.U.D. Description

LEGAL DESCRIPTION PER DOCUMENT 2003-32270

A part of the Southwest Quarter (SW 1/4) of Section 22, Township 37 North, Range Six (6) East, Jefferson Township, Elkhart County, Indiana, more particularly described as follows:

Commencing at a P.K. nail in State Highway No. 15 and marking the Northeast corner of the Southwest Quarter (SW 1/4) of Section Twenty-two (22), Township Thirty-seven (37) North Range Six (6) East, Jefferson Township, Elkhart County, Indiana; thence South 00 degrees 14 minutes East along the East line of said Southwest Quarter (SW 1/4) a distance of 820.75 feet to an iron pipe and the beginning of this description; thence continuing South 00 degrees 14 minutes East along said East line, a distance of 374.48 feet to an iron pipe; thence North 89 degrees 24 minutes West, a distance of 250.00 feet to a rebar with cap; thence North 00 degrees 14 minutes West parallel to said East line a distance of 113.80 feet to a rebar with cap; North 89 degrees 24 minutes West a distance of 260.94 feet to a P.K. nail in the centerline of State Highway No. 15; thence North 31 degrees 51 minutes East along said centerline, a distance of 304.89 feet to a P.K. nail; thence South 89 degrees 24 minutes East, a distance of 348.98 feet to the beginning.

1. Development Concept Overview

- A. The property is currently owned by W & J LLC, the property seller.
- 1) The property is under contract for sale to the petitioner, Deep Petroleum LLC.
 - 2) The proposed property use will be a convenience store, fuel pumps with canopy and four existing buildings with associated pavement, drainage, signage and utility improvements.
 - 3) The four existing buildings will be used for the future owner's office and business operations.
- B. Reasons for the chosen location:
- 1) The property is on State Road 15 north of Goshen city limits. There is an existing retail store adjoining this property on the north. There is a manufacturing zoned property across State Road 15 from this property. This property has been operated as a business use with B-1 zoning. The property is surrounded by residential uses that will provide customers for the proposed convenience store.
- C. Relation of existing uses to surrounding land uses:
- 1) East: Residential Use, zoned A-1
 - 2) West: Commercial Use: zoned M-1/B-3
 - 3) North: Commercial Use, zoned B-1.
 - 4) South: Residential Use, zoned A-1
- D. Proposed Land use:

Land Use Calculations	Area (s.f.)	Area (ac.)	Percent
Property Area	140,518	3.23	100%
State Road 15 ROW	9,147	0.21	7%
Buildings	24,371	0.56	17%
Sidewalk	1,475	0.03	1%
Pavement	51,633	1.19	37%
Stormwater Retention	11,560	0.27	8%
Open Space	42,332	0.97	30%

- E. Protections for surrounding residential uses against nuisances:
- 1) There will be outside lighting on the proposed building, fuel pump canopy and around the pavement area. Outdoor lighting will be shielded to avoid shedding light on adjoining properties.
 - 2) There is a landscape buffer proposed on the north, east and south property that will meet county zoning requirements.
 - 3) Existing buildings along the east property line will remain to provide additional buffer for adjoining residential properties to the east.

2. Development Concept Details

- A. Site Improvements and Changes
 - 1) One building is proposed, approximately 4,000 s.f.
 - 2) One fuel pump canopy is proposed, approximately 3,240 s.f.
 - 3) Four existing buildings to remain along east property line. Sizes are shown on Site Plan.
- B. Project Phasing
 - 1) The project will be completed in one phase.
- C. Site Access
 - 1) One new public road is proposed for the development.
- D. Days and Hours of Operation
 - 1) Seven days per week, 24 hours per day.
- E. Indoor and Outdoor Activity
 - 1) Customers will park and fuel their vehicles.
 - 2) Customers will park and shop at the store.
 - 3) Panel trucks will deliver store merchandise.
 - 4) Fuel trucks will deliver fuel to fill the storage tanks.
 - 5) Number of Visitors per Day: 500 estimated
 - 6) Five box truck or fuel truck deliveries are expected per day.
- F. Road Impacts
 - 1) There is one existing driveway which will be widened to the south to provide access.
- G. Stormwater Plan
 - 1) Stormwater from the pavement, buildings and yards will be collected in drainage inlet structures and conveyed by pipe to the on-site retention basins.
 - 2) Stormwater will infiltrate into the ground from the retention basins.
- H. Signage
 - 1) There will be a permanent sign and temporary sign during lot sales.
 - 2) The owner understands that separate sign permits are required.
- I. MS4 Impacts:
 - 1) The project will disturb more than one acre of area. A Stormwater Pollution Prevention Plan will be submitted for review and approval prior to construction.

3. Deviations from Zoning Ordinance standards

- A. None

4. Water Supply and Sanitary Sewer Plan

- A. The property will have an on-site water supply well.
- B. The property will have an on-site sanitary sewer septic system.
- C. The property is not adjacent to a municipal water or sanitary sewer system.

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: July 9, 2026

Transaction Number: DPUD-0322-2026.

Parcel Number(s): 20-09-36-427-003.000-025.

Existing Zoning: PUD M-1.

Petition: For an amendment to an existing PUD M-1 known as CLAYRIDGE SQUARE SECOND PUD LOT 3 to add a storage building.

Petitioner: JB Martin Properties, LLC, represented by Zimmerman's Construction, LLC, & Creative Design, Inc.

Location: North side of Nelson Parkway, 430 ft. west of SR 19, in Olive Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	PUD M-1	Manufacturing
North	M-2	Manufacturing
South	PUD M-1	Manufacturing
East	PUD M-1	Commercial
West	PUD M-1	Manufacturing

Site Description: The subject property consists of one lot totaling 2.224 acres, is rectangular in shape, has a 9,343 ft² commercial building, and is located in the Town of Wakarusa.

History and General Notes:

- **February 5, 1996** – The Board of County Commissioners approved a zone map change to PUD M-1 to be known as Clayridge Square PUD M-1 (PC 1996-03).

Zoning District Purpose Statements: A PUD is a Planned Unit Development and the predecessor to the to the Detailed Planned Unit Development overlay zoning district. The purpose of the M-1, Limited Manufacturing, zoning district is to accommodate less intense manufacturing, warehousing and distribution uses that are not significantly objectionable to surrounding properties in terms of truck traffic, noise, odor, smoke and other potential nuisance factors.

Plan Commission Staff Report (Continued)

Hearing Date: July 9, 2026

Staff Analysis: The purpose of this amendment is to allow for the construction of a new 6,750 ft² storage building.

Staff Analysis Continued: The Planning Staff recommends **APPROVAL** of this PUD amendment as the development meets all pertinent planning & zoning standards. The Elkhart County Technical Committee has some concerns about the drainage for this area which will need to be addressed by the property owners and the Town of Wakarusa.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Detailed PUD Amendment - Rezoning, Plat & Site Plan

DPUD-0322-2026

Date: 05/26/2026 Meeting Date: July 09, 2026 Transaction #: DPUD-0322-2026
Plan Commission Hearing (PUD)

Description: for an Amendment to an existing PUD M-1 known as CLAYRIDGE SQUARE SECOND PUD LOT 3 to add a storage building.

<u>Applicant</u>	<u>Architect</u>	<u>Authorized Agent</u>	<u>Contractor</u>
Creative Design Inc. 224 West Jefferson Blvd. South Bend, IN 46601	Creative Design Inc. 224 West Jefferson Blvd. South Bend, IN 46601	Zimmerman'S Construction Llc 65700 County Road 7 Goshen, IN 46526	Zimmerman'S Construction Llc 65700 County Road 7 Goshen, IN 46526
<u>Land Owner</u>			
Jb Martin Properties Llc 25389 Sr 119 Goshen, IN 46526			

Site Address: 904 Nelsons Pkwy Wakarusa, IN 46573	Parcel Number: 20-09-36-427-003.000-025
--	---

Township: Olive
Location: NORTH ON NELSON PARKWAY, 430 FT WEST OF SR 19

Subdivision: CLAYRIDGE SQUARE SECOND PUD LOT 3	Lot # 3
--	---------

Lot Area: 2.22 Frontage: 237.00 Depth: 426.00

Zoning: M-1, PUD	NPO List:
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Present Use of Property: INDUSTRIAL

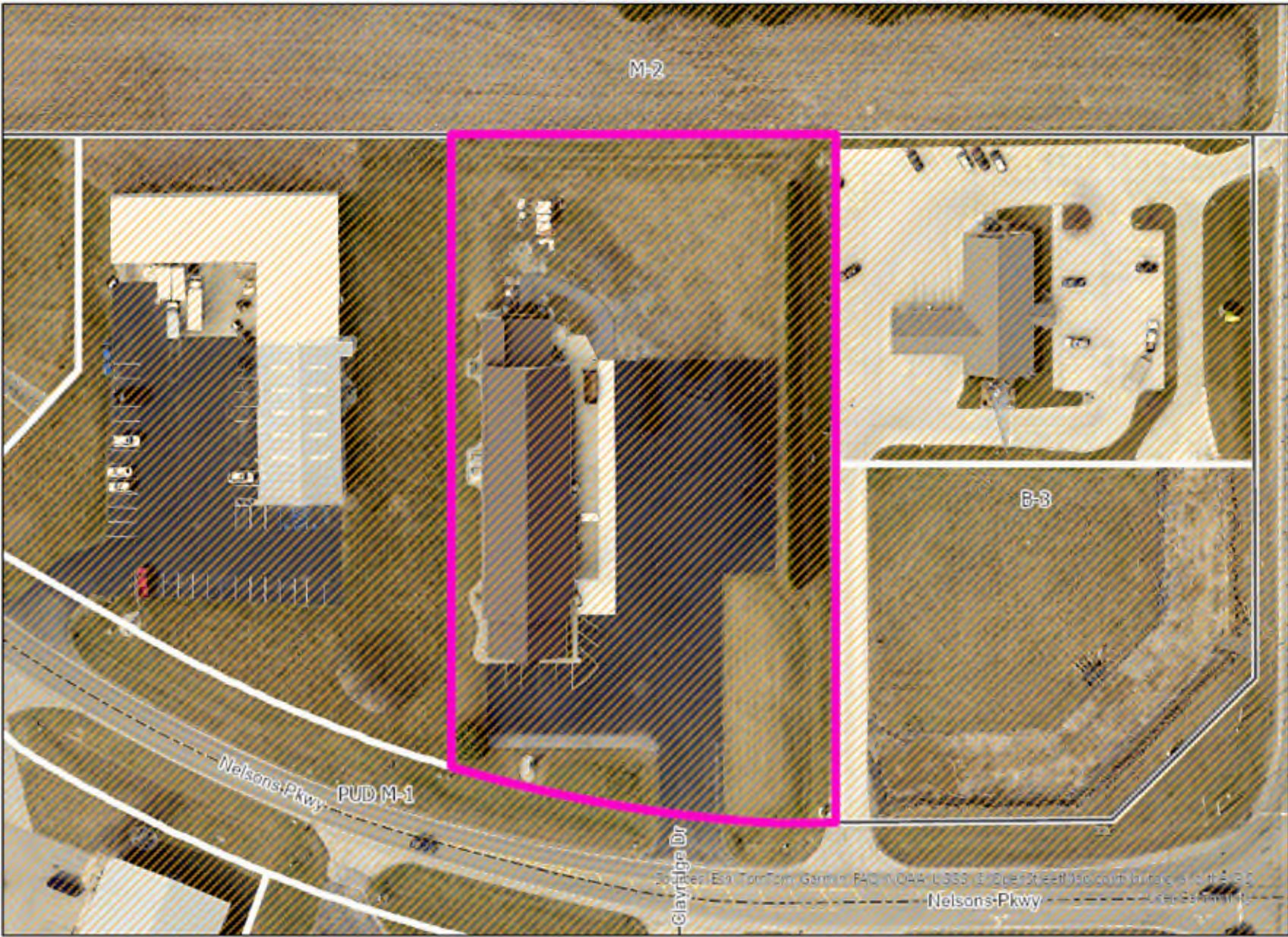
Legal Description:

Comments: ORIGINAL FILE IS NOT PRESENT AT THIS TIME. AW

Applicant Signature:

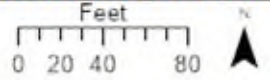
Department Signature:

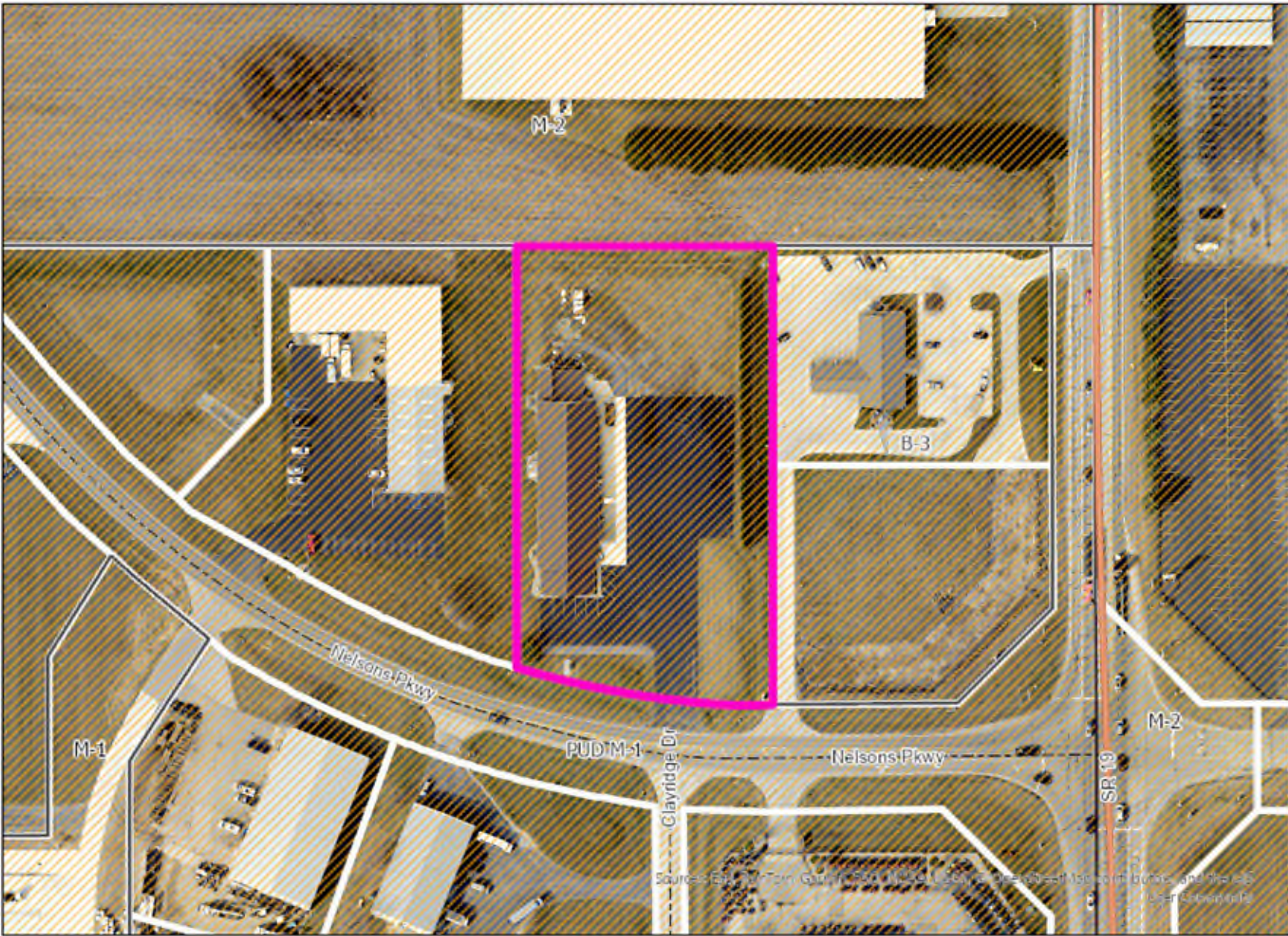
DPUD-0322-2026



2025 Aerials

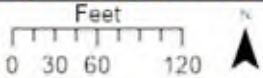
1 inch equals 80 ft



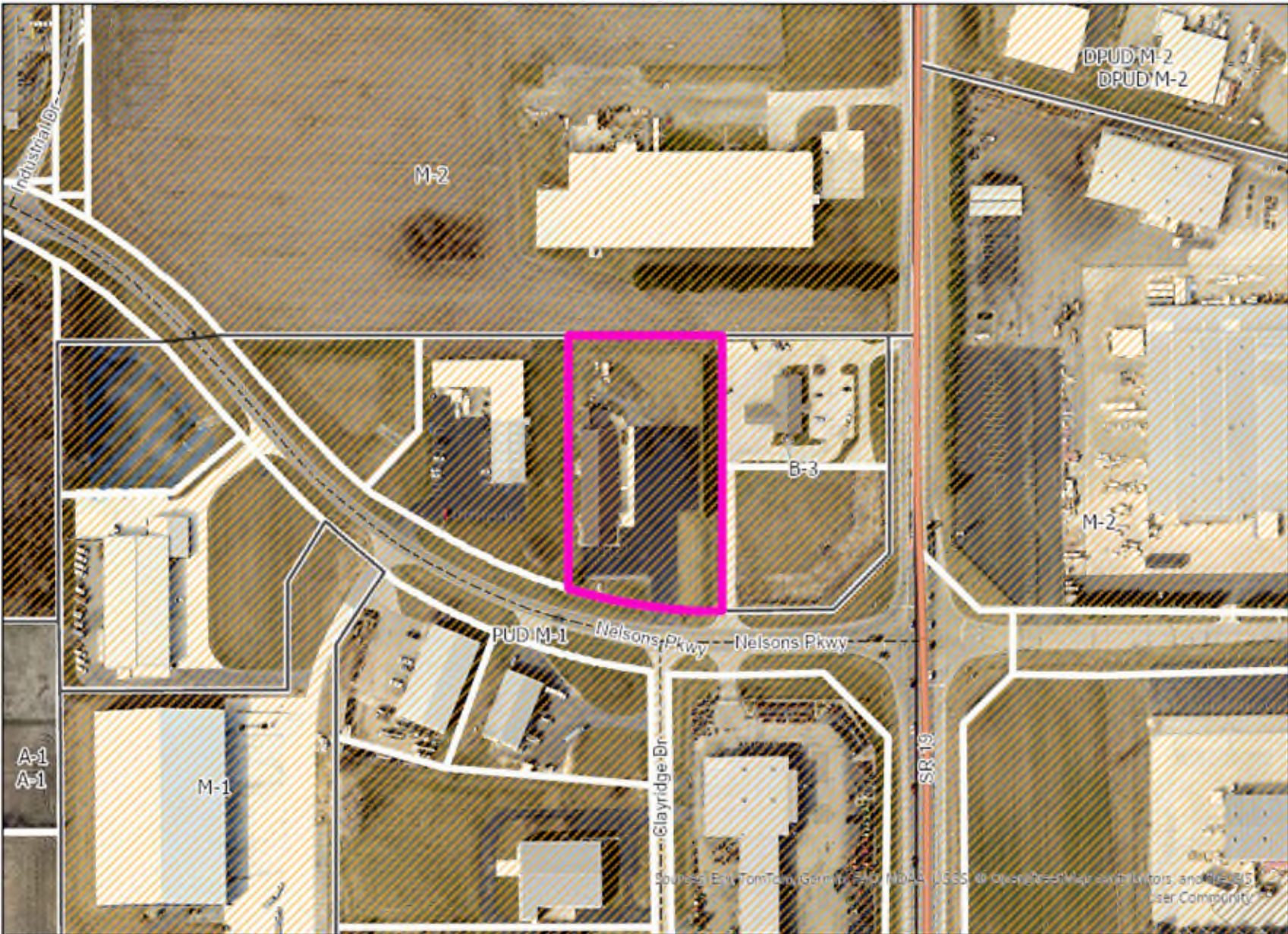


2025 Aerials

1 inch equals 120 ft

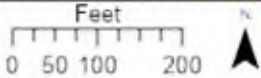


DPUD-0322-2026

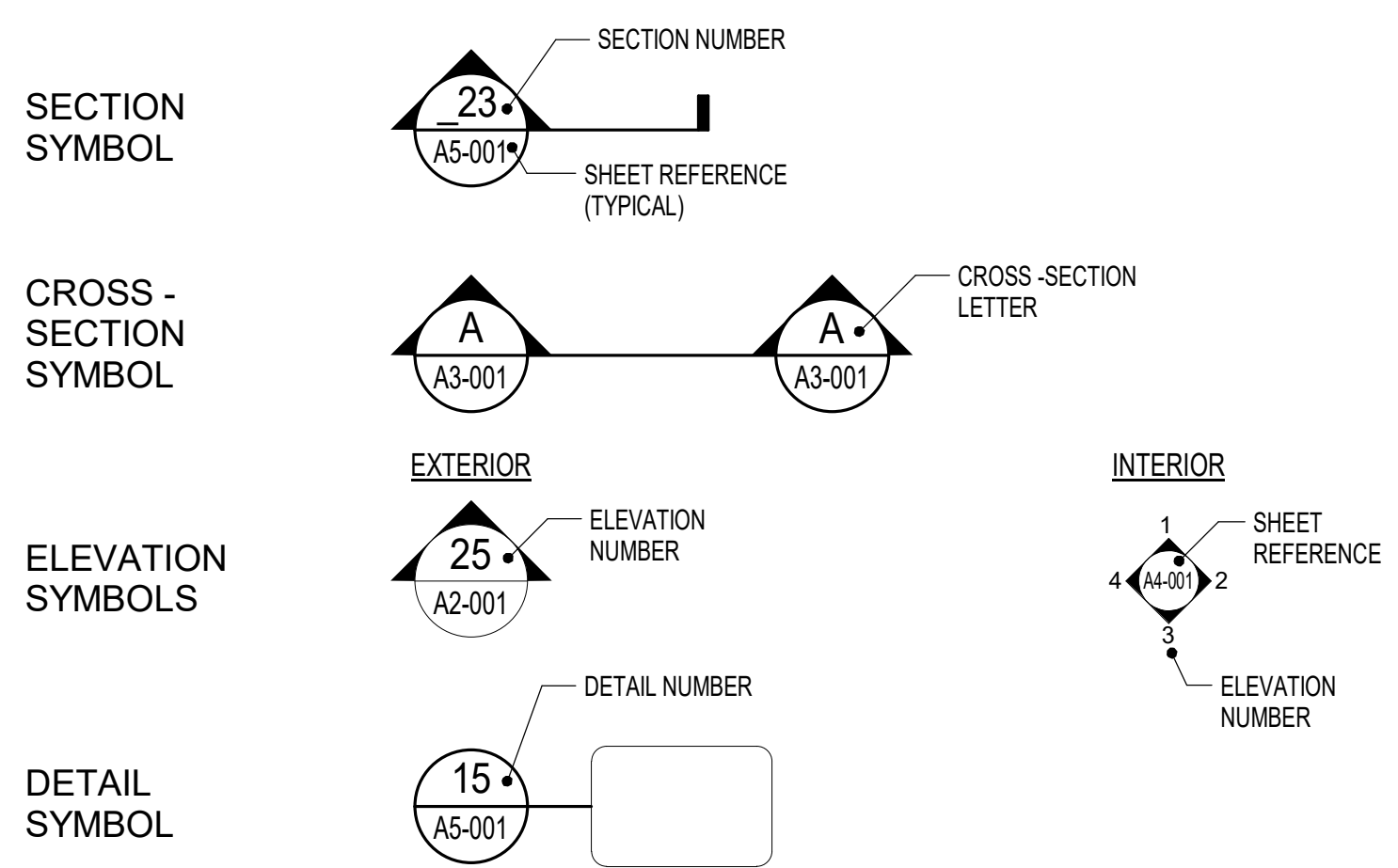


2025 Aerials

1 inch equals 200 ft



DRAWING SYMBOLS



PERMIT SET

SW WELDING STORAGE BUILDING

904 NELSONS PKWY. WAKARUSA, IN 46573

05-04-2026



GENERAL PROJECT NOTES

ALL DRAWINGS, DETAILS, CONTRACT, GENERAL AND RELATED DOCUMENTS ISSUED AS THE CONTRACT DOCUMENTS ARE INTENDED, TAKEN AND INTERPRETED AS A SINGULAR WHOLE BODY OF WORK. ALL CONTRACTORS, REGARDLESS OF THEIR SKILL SET OR DISCIPLINE, SHALL BE RESPONSIBLE FOR THE FULL SET OF THE CONTRACT DOCUMENTS.

ALL CONTRACTORS SHALL BE LICENSED, BONDED, AND INSURED BY THE STATE OF INDIANA, TO PERFORM THE SCOPE OF WORK FOR WHICH THEY ARE CONTRACTED. THE CONTRACTOR'S LICENSE SHALL BE CONSISTENT WITH THE TYPE OF WORK THEY ARE PERFORMING, WHERE REQUIRED BY LOCAL GOVERNING BODY.

ALL CONTRACTORS ARE REQUIRED TO FULLY COMPLY WITH STATE & LOCAL CODES AND REGULATIONS.

DO NOT SCALE DRAWINGS, IF CLARIFICATION IS REQUIRED, CONSULT ARCHITECT OR ENGINEER.

ALL CONTRACTORS AGREE TO PERFORM THE WORK IN A SAFE AND PROPER MANNER AS TO COMPLY WITH ALL LAWS AND ORDINANCES REFERRING TO SUCH WORK, AND WILL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, AND ENGINEER AGAINST ALL CLAIMS, PENALTIES, DAMAGES OR LEGAL ACTIONS FOR BREACH OF THIS PROVISION.

PRIOR TO THE START OF CONSTRUCTION AND THROUGHOUT THE DURATION OF THIS PROJECT FROM BEGINNING TO COMPLETION, ALL CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT AND FOR PROTECTING THE OWNER'S PROPERTY BOTH ON SITE AND IN THE BUILDING, INCLUDING BUT NOT LIMITED TO FURNISHINGS, FURNITURE AND EQUIPMENT.

ALL CONTRACTORS AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND/OR RUBBISH CAUSED BY ITS EMPLOYEES OR WORK. AT THE COMPLETION OF EACH DAY OF WORK, THE CONTRACTOR SHALL REMOVE THEIR RUBBISH AND DEBRIS FROM THE JOB SITE AND DISPOSE OF IN A PROPER MANNER. VERIFY DUMPSTER LOCATION WITH OWNER PRIOR TO STARTING ANY DEMOLITION WORK.

THE EXISTING BUILDING WILL BE OCCUPIED DURING RENOVATION AND CONSTRUCTION ACTIVITIES. ALL CONTRACTORS ARE RESPONSIBLE FOR PROVIDING AND MAINTAINING A WORKSITE THAT IS SAFE AND THAT PROTECTS THE PUBLIC, THE STAFF, AND ANY OTHER NON-CONTRACTORS FROM HARM DURING ANY CONSTRUCTION ACTIVITIES.

VISUALLY FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WITH WORK. NOTIFY THE ARCHITECT IF THERE ARE ANY MAJOR DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING FIELD CONDITIONS. IF DISCREPANCIES ARE IDENTIFIED AS PART OF THE CONSTRUCTION WHICH WILL IMPACT THE NATURE OR THE INTENT OF THE DRAWINGS, NOTIFY THE ARCHITECT.

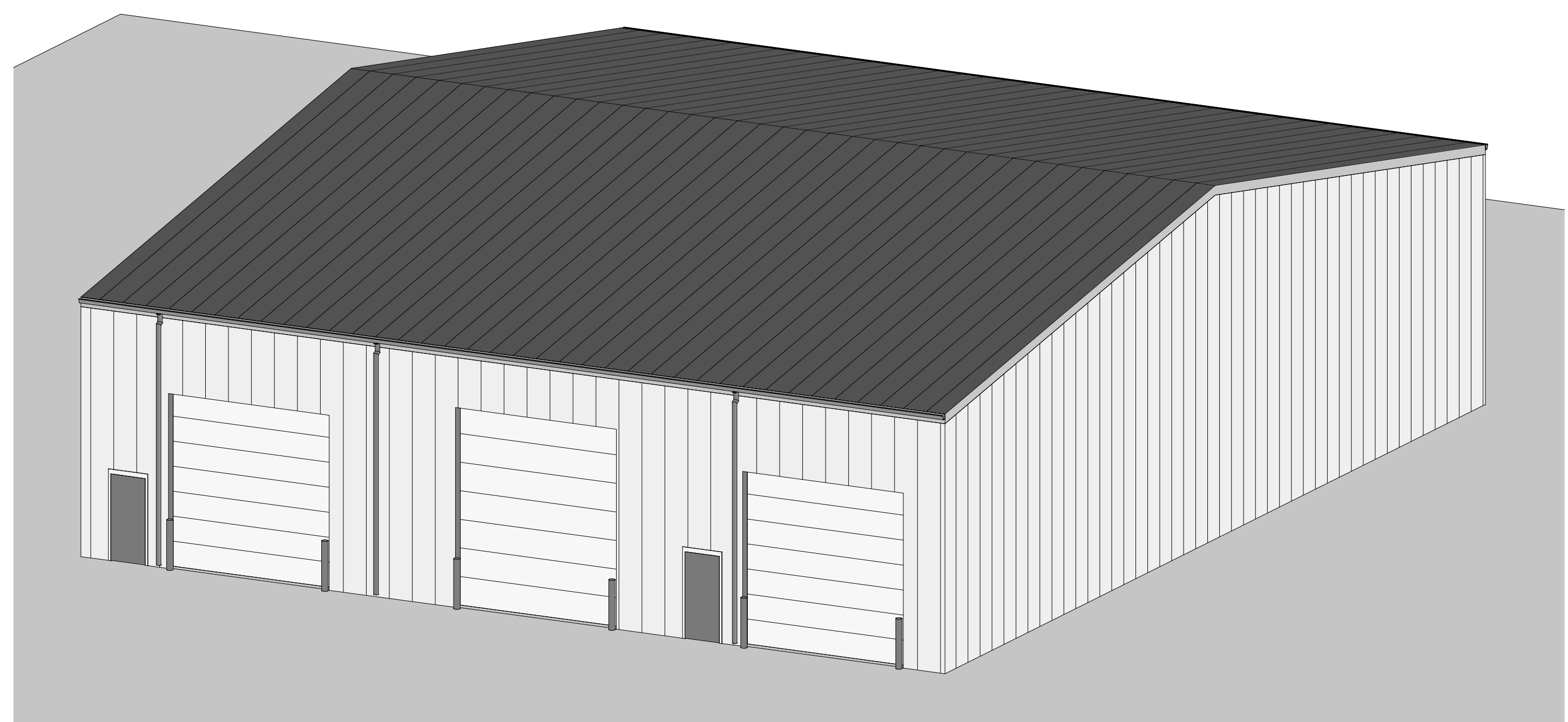
HOLD ALL DIMENSIONS INDICATED AS CRITICAL OR CLEAR.

DIMENSIONS WHICH ARE INDICATED WITH A (+/-) MAY VARY AS MUCH AS 3" IN EITHER DIRECTION. NOTIFY ARCHITECT IF VARIATION IS GREATER THAN 3".

COORDINATION OF VARIOUS TRADES IS MANDATORY. ALL CONTRACTORS SHALL CROSS REFERENCE THE ENTIRE SET OF DRAWINGS AND CONFIRM THAT ALL REQUIRED WORKMANSHIP, MATERIALS, EQUIPMENT ETC, IS ACCOUNTED FOR. IT IS THE EVERY CONTRACTORS RESPONSIBILITY TO PROVIDE A FULLY FUNCTIONING SYSTEM AND COMPLETE PRODUCT.

THE GENERAL CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS.

3D VIEW



DRAWING INDEX

SHEET NUMBER	SHEET NAME
T0-01	TITLE SHEET
C1-01	SITE PLAN AND SITE INFORMATION
C2.1	EXISTING SITE CONDITIONS
C2.0	DEVELOPED CONDITIONS
LS-01	LIFE SAFETY PLAN
S1-01	FOUNDATION PLAN
A1-01	FLOOR PLAN
A2-01	EXTERIOR ELEVATIONS
A3-01	BUILDING SECTIONS
A4-01	ENLARGED RESTROOM PLANS
P1-01	PLUMBING PLAN
M1-01	MECHANICAL FLOOR PLAN
E1-01	ELECTRICAL POWER PLAN

APPLICABLE PROJECT CODES

THIS PROJECT IS DESIGNED TO BE CONSTRUCTED IN CONFORMANCE WITH THE FOLLOWING CODES.

ADMINISTRATIVE RULES
GENERAL ADMINISTRATIVE RULES (GAR)
- 675 IAC 12

BUILDING CODE
2014 INDIANA BUILDING CODE (IBC)
- 2012 INTERNATIONAL BUILDING CODE
- 675 IAC 13-2.6

MECHANICAL CODE
2014 INDIANA MECHANICAL CODE (IMC)
- 2012 INTERNATIONAL MECHANICAL CODE
- 675 IAC 18-1.6

PLUMBING CODE
2012 INDIANA PLUMBING CODE (IPC)
- 2006 INTERNATIONAL PLUMBING CODE
- 675 IAC 16-1.4

ELECTRICAL CODE
2009 INDIANA ELECTRICAL CODE (IEC)
- 2008 NFPA 70
- 675 IAC 17-1.8

BUILDING REHABILITATION STANDARD
INDIANA BUILDING REHABILITATION STANDARD
- 675 IAC 12-8

ENERGY CODE
2010 INDIANA ENERGY CONSERVATION CODE (IECC)
- ASHRAE 90.1 2007
- 675 IAC 19-3

HANDICAP ACCESSIBILITY CODE
2014 INDIANA BUILDING CODE CHAPTER 11 - ACCESSIBILITY
- 675 IAC 13-2.5-12 CHAPTER 11
ANSI A117.1-2009

FIRE CODE
2014 INDIANA FIRE CODE (IFC)
- 2012 INTERNATIONAL FIRE CODE
- 675 IAC 22-2.5

FUEL GAS CODE
INDIANA FUEL GAS CODE, 2014 EDITION
- 2012 INTERNATIONAL FUEL GAS CODE
- 675 IAC 25-3

CODE SUMMARY

A. OCCUPANCY CLASSIFICATION:	F1/S1	F. REQUIRED RATINGS:	
B. CONSTRUCTION TYPE:	TYPE 5 B	STRUCTURE	0
C. BUILDING AREA:		BEARING WALLS	0
ACTUAL	6,750 SF	NON BEARING WALLS	0
D. BUILDING HEIGHT:		ROOF	0
ALLOWABLE	2	FLOOR	0
ACTUAL	1	CORRIDORS	0
E. BUILDING SPRINKLERED	NO	SHAFTS	NA
		FURNACE/BOILER	NA
		STORAGE < 100 SF	1
		SEPARATION OF OCCUPANCIES	NA

PROJECT TEAM

OWNER: SOUTHWEST WELDING LLC
28125 CO RD 42
WAKARUSA, IN 46573
ATTN: PHONE:
EMAIL:

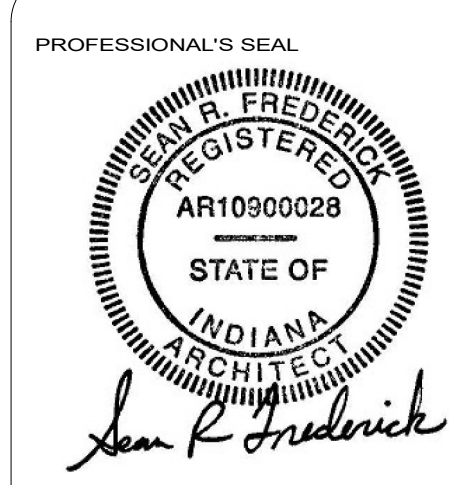
ARCHITECT: CREATIVE DESIGN SOLUTIONS, Inc.
224. W. JEFFERSON BLVD. SUITE 100
SOUTH BEND, IN 46601
ATTN: SEAN FREDERICK
CELL: 574-643-7567
EMAIL: SRF@CREATIVEDESIGNINC.COM

CONTRACTOR: ZIMMERMAN'S CONSTRUCTION
65700 COUNTRY RD 7
GOSHEN, IN 46526
ATTN: PHONE:
EMAIL:

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF BUILDING A NEW PRE-ENGINEERED METAL BUILDING USED FOR STORAGE.

PERMIT SET
SW WELDING STORAGE BUILDING
904 NELSONS PKWY. WAKARUSA, IN 46573

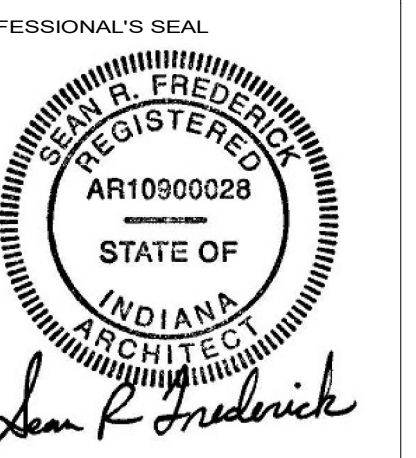


NO.	DATE	SUBMISSION

SHEET NAME
TITLE SHEET

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 26009-00	CHECKED BY: SRF
SCALE:	DATE: 05-04-2026
SHEET NUMBER T0-01	

PERMIT SET
SW WELDING STORAGE BUILDING
 904 NELSONS PKWY., WAKARUSA, IN 46573



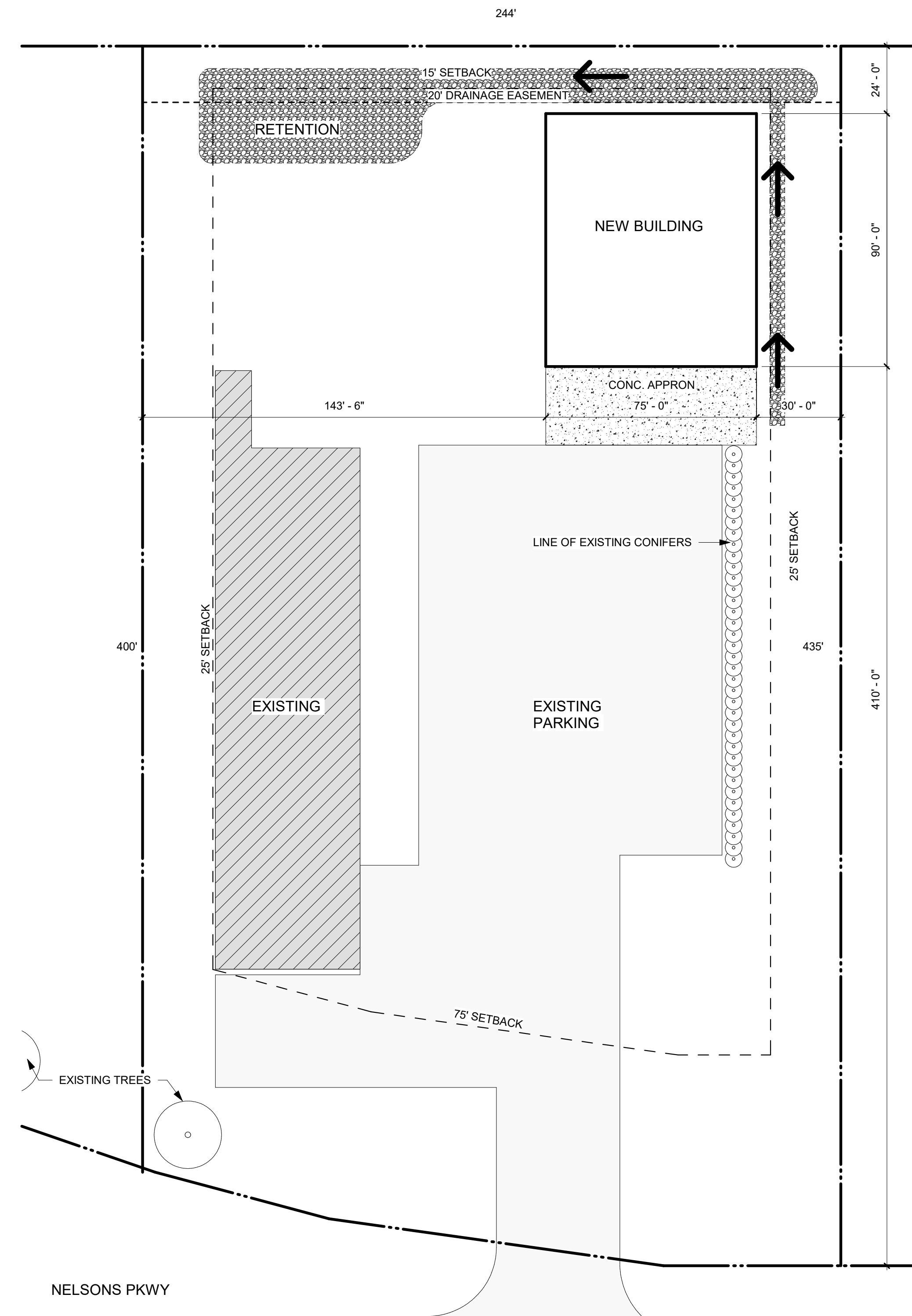
NO.	DATE	SUBMISSION

SHEET NAME
SITE PLAN AND SITE INFORMATION

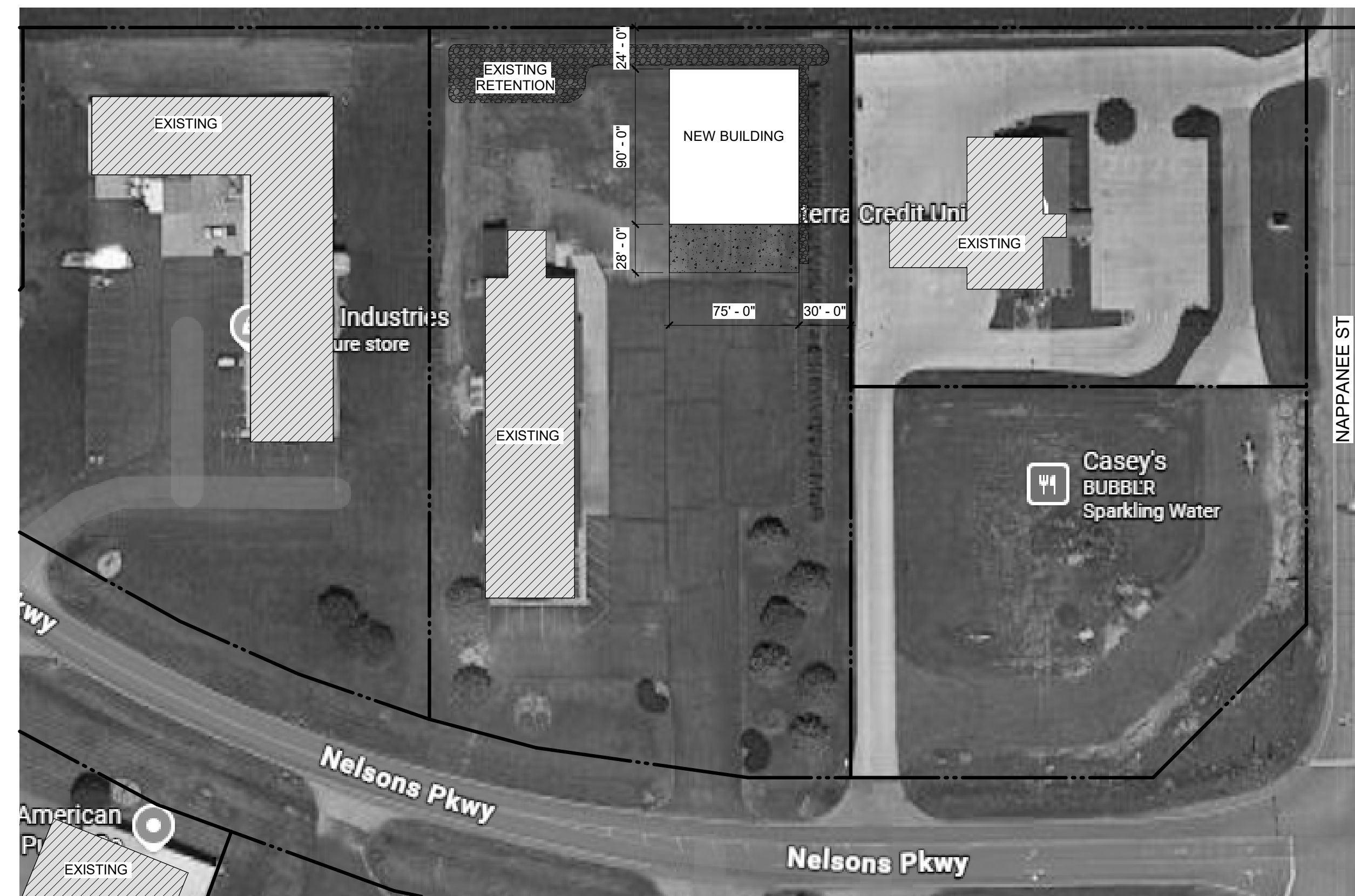
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JOB NO. 26009-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 05-04-2026

SHEET NUMBER
C1-01

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1 ENLARGED SITE PLAN
 1" = 30'-0"



2 SITE MAP
 1" = 60'-0"

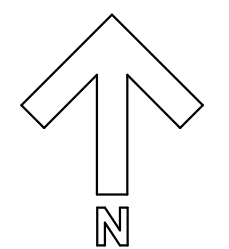
PROJECT SUMMARY

THIS PROJECT CONSIST OF ADDING A 75' X 90' PEMB STORAGE BUILDING WHICH WILL BE USED TO STORE TRUCKS AND EQUIPMENT.

PROPERTY COUNTY ID: 09-36-427-003-025
 PROPERTY IS ZONED AS PUD
 AND IS SURROUNDED BY M2 GENERAL MANUFACTURING

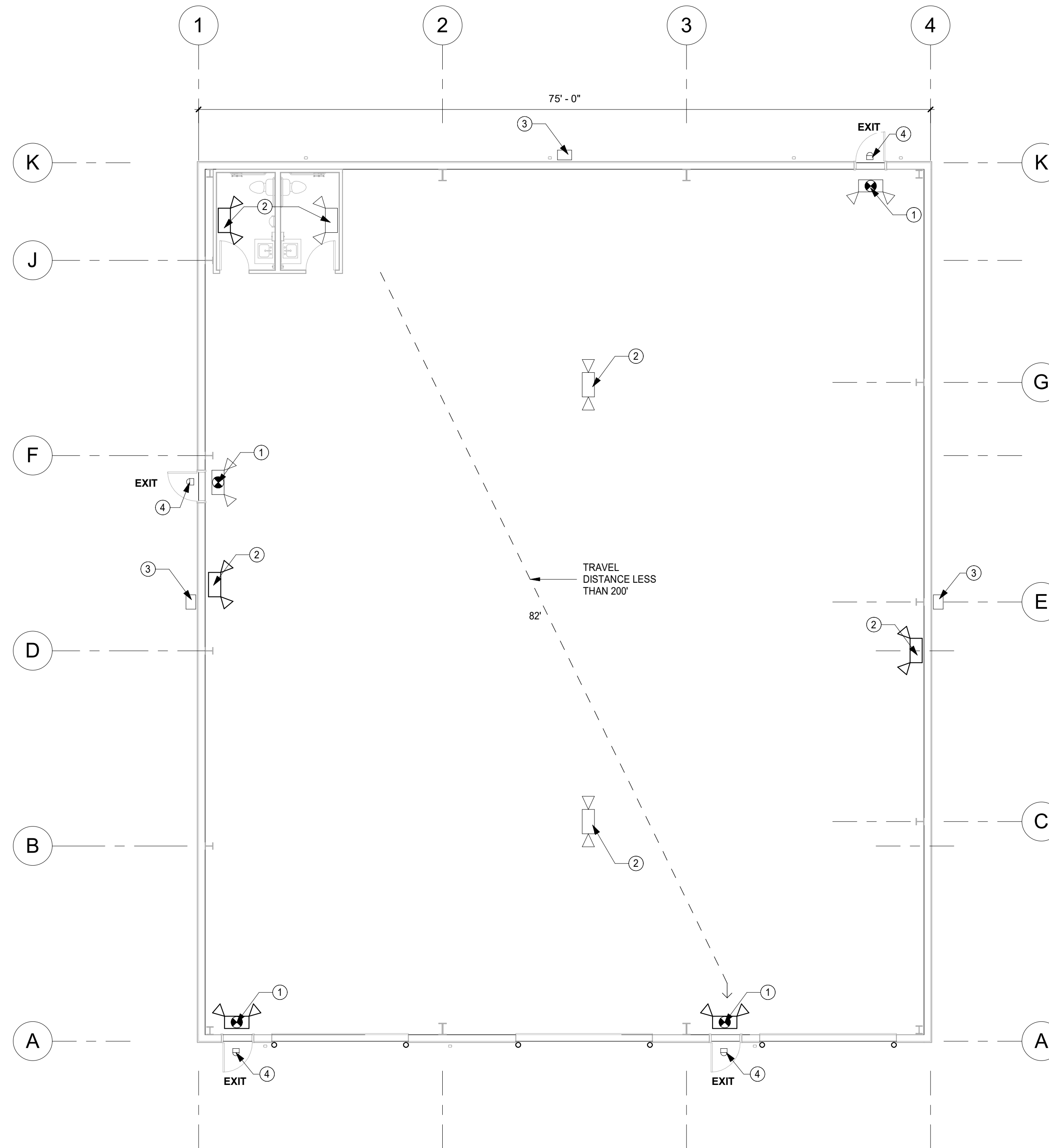
LAND AREAS

SITE AREA: 2.22 ACRES (96,703 SF)
 EXISTING BUILDING AREA: 10,160 SF
 EXISTING PARKING AREA: 29,412 SF
 PROPOSED BUILDING AREA: 6,750 SF
 PROPOSED CONCRETE APRON: 2,100 SF
 CURRENT OPEN AREA: 57,131 SF
 NEW OPEN AREA: 48,281 SF
 TOTAL IMPROVEMENTS: 8,850 SF



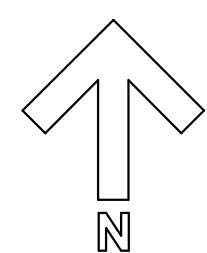
SHEET KEYNOTES

1. EXIT/ EMERGENCY LIGHT WITH BATTERY BACK UP.
2. EMERGENCY LIGHT WITH BATTERY BACK UP.
3. EXTERIOR WALL PACK.
4. EXTERIOR EGRESS MAN DOOR LIGHT.

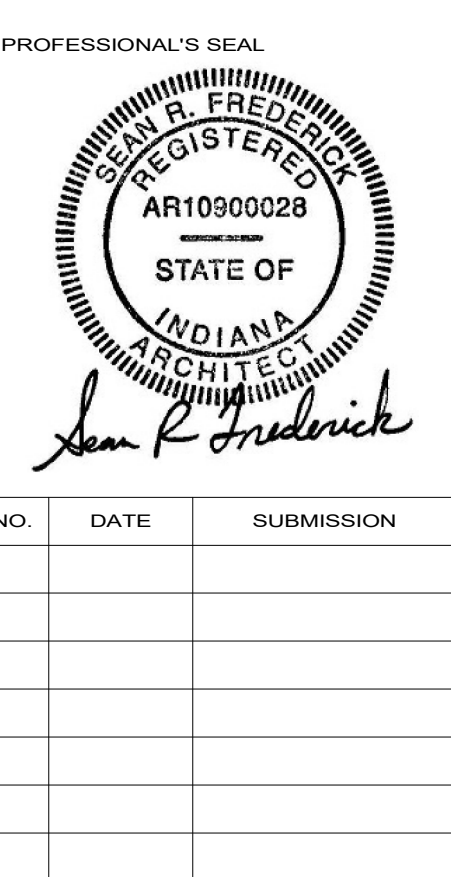


1 LIFE SAFETY PLAN
1/8" = 1'-0"

LEGEND	
EGRESS PATH	-----
EXIT	EXIT



PERMIT SET
SW WELDING STORAGE BUILDING
 904 NELSONS PKWY., WAKARUSA, IN 46573



NO.	DATE	SUBMISSION

SHEET NAME

LIFE SAFETY PLAN

ARCHITECT: SRF	DRAWN BY: ASR
JOB NO. 26009-00	CHECKED BY: GAH
SCALE: As indicated	DATE: 05-04-2026

SHEET NUMBER

LS-01

5/19/2026 11:58:15 AM

SHEET KEYNOTES

- 8" CONCRETE FOUNDATION WALL. 4' TALL. TOP OF WALL EXTENDS 6" ABOVE FINISHED FLOOR.
- 24" x 12" CONCRETE FOOTING.
- INTEGRATED CONC. PIER. SEE FOOTING SCHEDULE FOR SIZE.
- DEPRESS CONCRETE FOOTING AT OPENING.
- 2x8s @ 16" O.C. WITH 3/4" T&G PLYWOOD DECK OVER BATHROOM WALLS.
- #4 HAIRPIN. 10' LEGS.

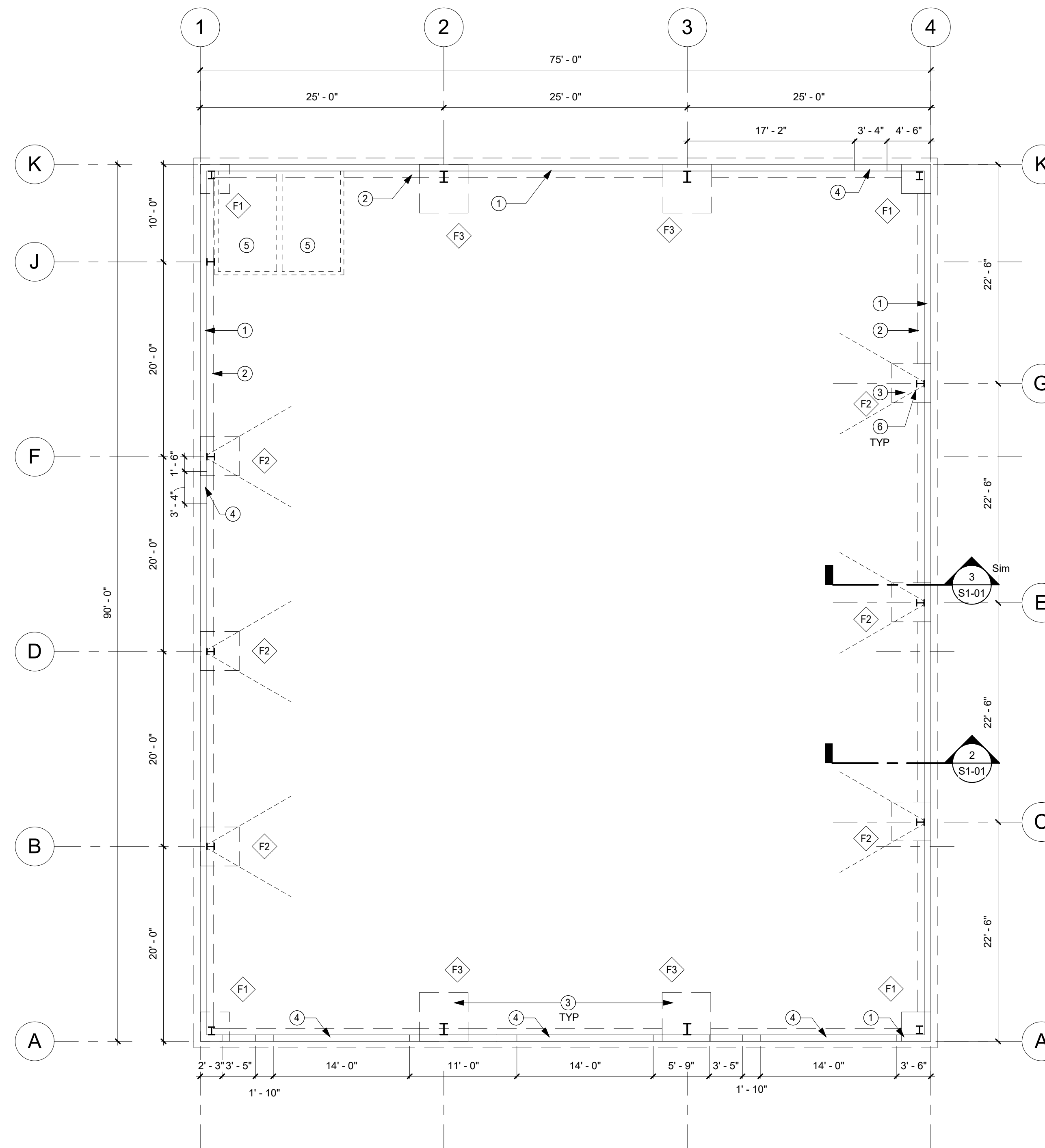
STRUCTURAL LOADING

ROOF LIVE LOAD = 20 PSF
 GROUND SNOW LOAD = 25 PSF
 WIND LOAD 115 MPH

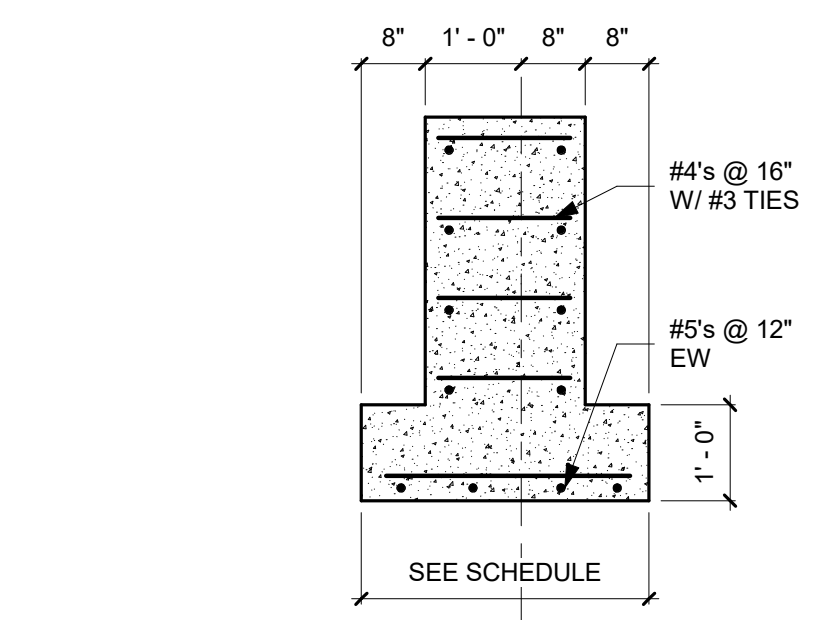
FOOTING SCHEDULE

F1 3'-0" x 3'-0" x 3'-6"
 F2 4'-0" x 4'-0" x 3'-6"
 F3 5'-0" x 5'-0" x 3'-6"

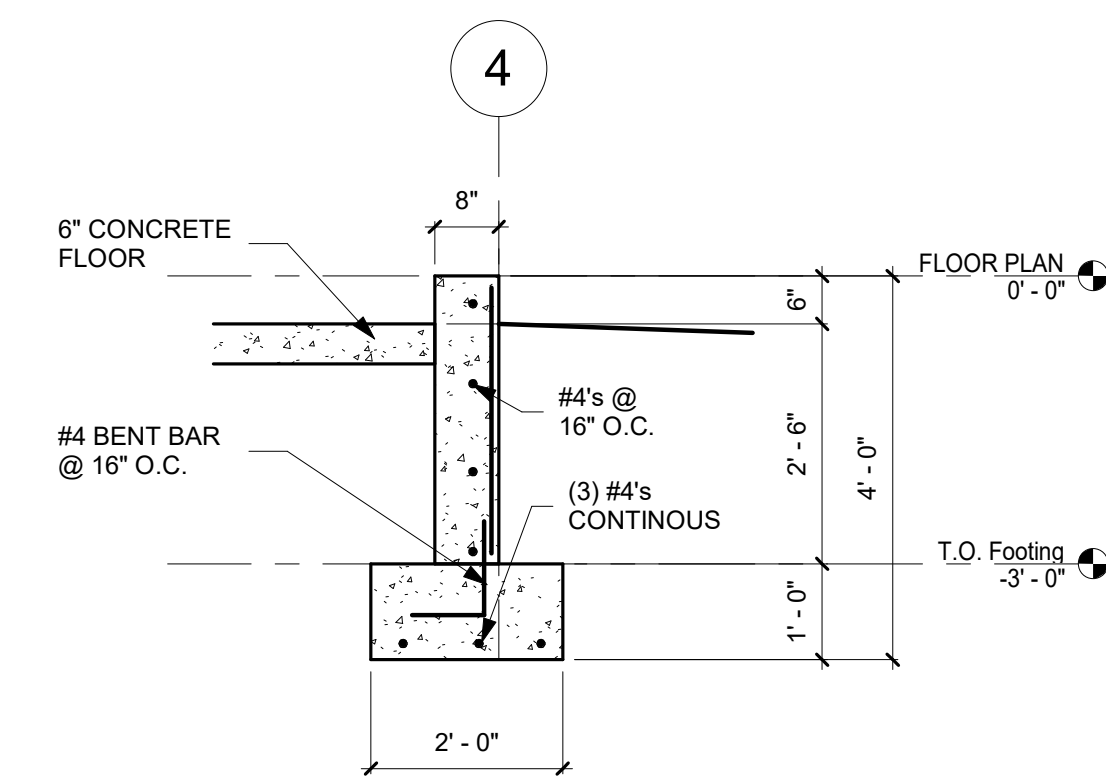
FINAL DESIGN TO BE CONFIRMED WITH BUILDING REACTIONS



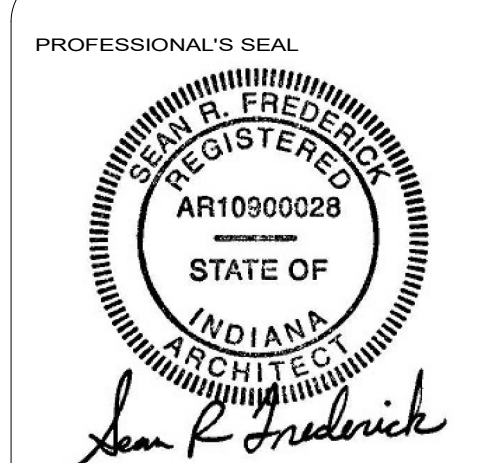
1 FOUNDATION
 1/8" = 1'-0"



3 SECTION - AT CONC. PIER
 1/2" = 1'-0"



2 SECTION - AT FOUNDATION WALL
 1/2" = 1'-0"



NO.	DATE	SUBMISSION

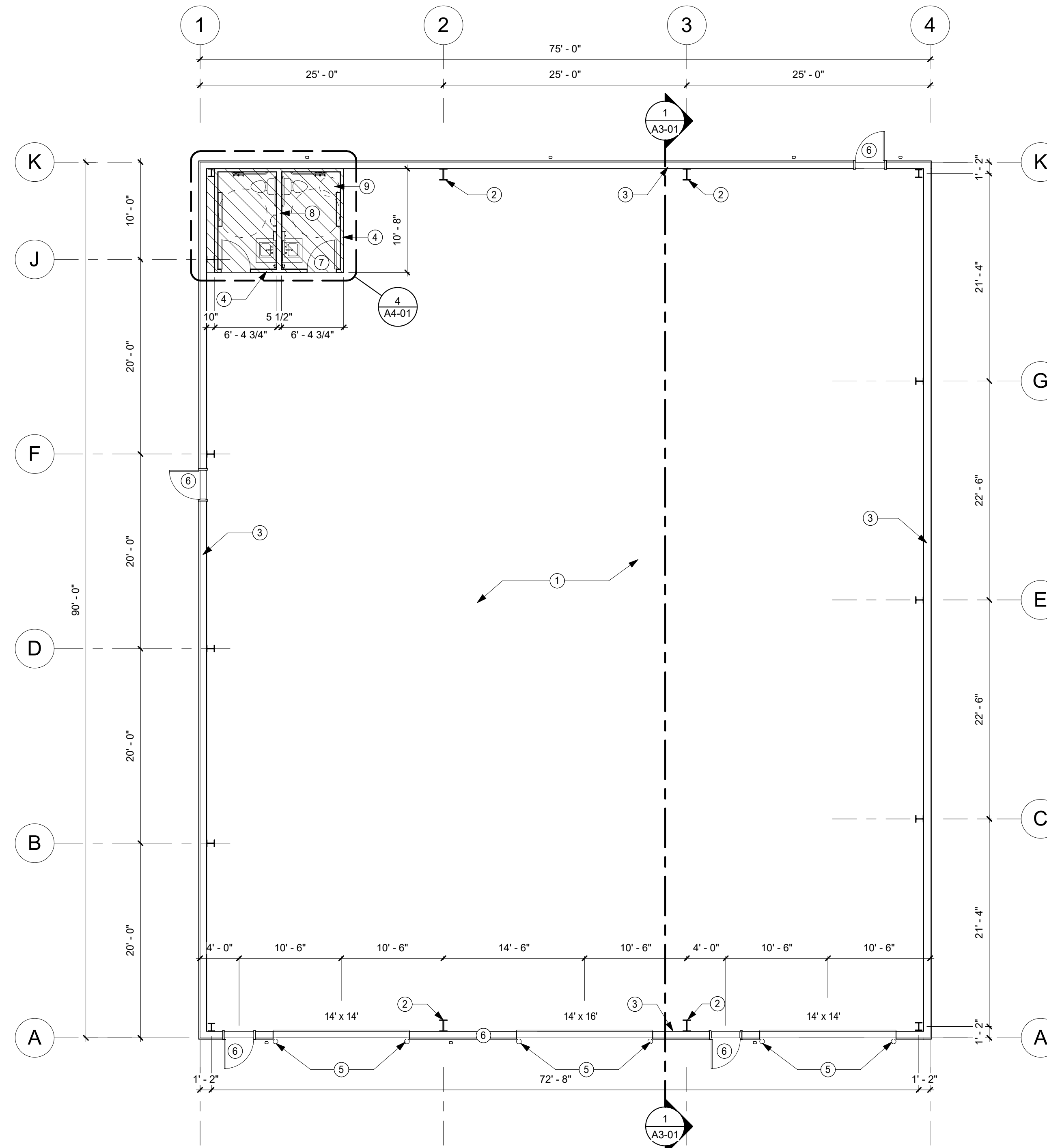
SHEET NAME
FOUNDATION PLAN

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 26009-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 05-04-2026

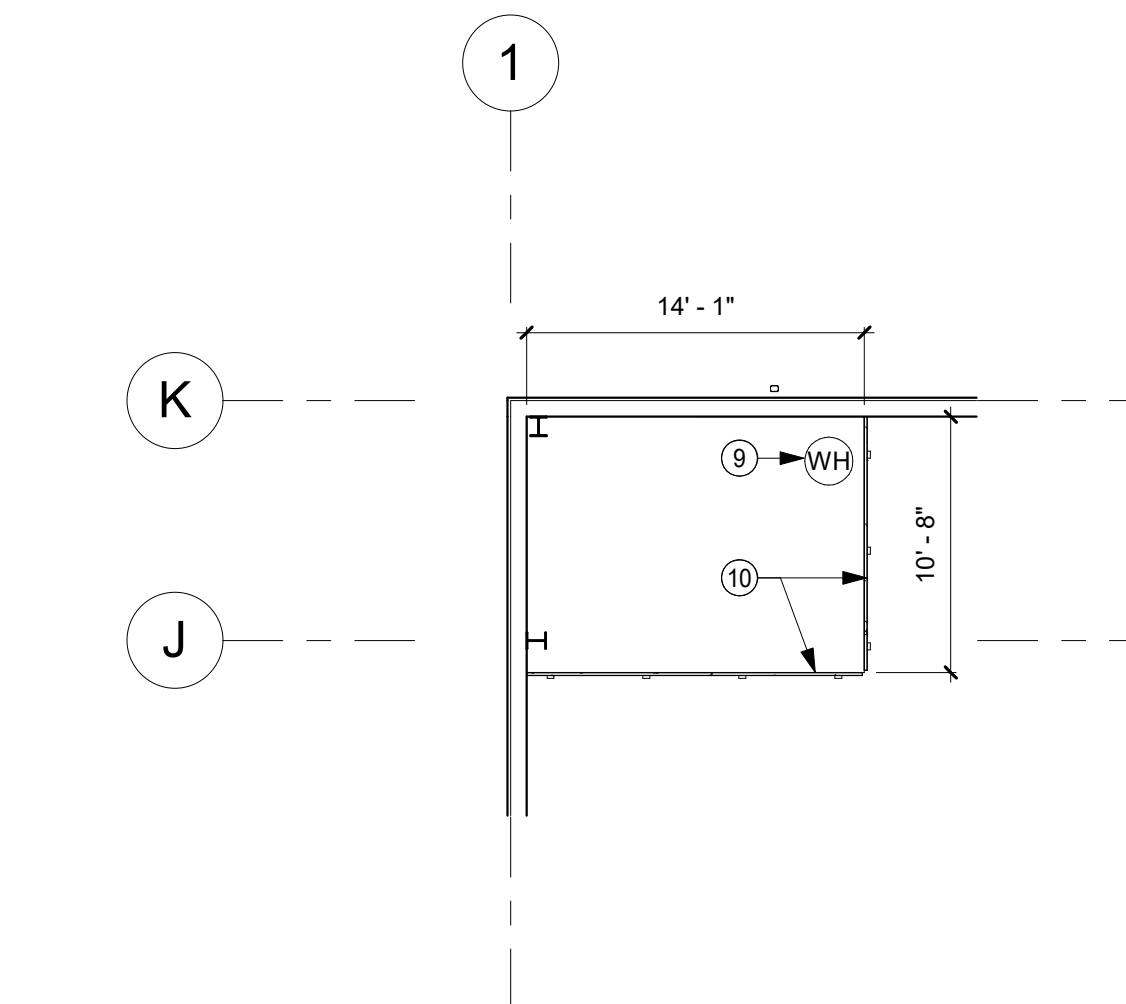
SHEET NUMBER
S1-01

SHEET KEYNOTES

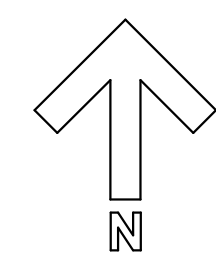
1. 5" CONCRETE SLAB.
2. STEEL FRAME. REFER TO STRUCTURAL DRAWINGS.
3. 8" PRE-ENGINEERED METAL WALL W/ EXTERIOR METAL SIDING. GIRT LOCATION DETERMINED BY BUILDING MFR.
4. 3 5/8" STUD WALL W/ 5/8 GYP. BD BOTH SIDES.
5. 6" PAINTED STEEL BOLLARD.
6. 3'-0" x 7'-0" INSULATED HOLLOW METAL DOOR. INCLUDE THRESHOLD AND WEATHER STRIPPING.
7. 3'-0" x 7'-0" PRE-HUNG DOOR.
8. 2x6 PLUMBING WALL WITH GYP. BD. BOTH SIDES.
9. WATER HEATER LOCATION ON MEZZANINE.
10. 2x4 RAILING AND POST, 42" HIGH WITH REMOVABLE SECTION.



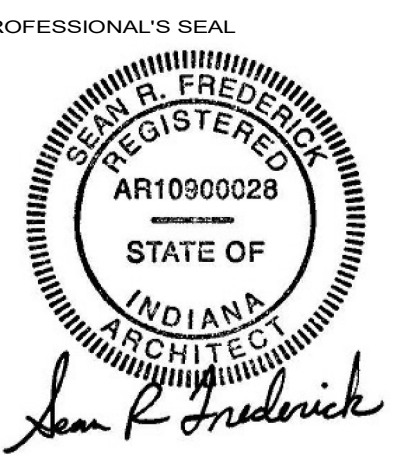
1 FLOOR PLAN
1/8" = 1'-0"



2 ENLARGE PLAN - STORAGE MEZZANINE
1/8" = 1'-0"



PERMIT SET
SW WELDING STORAGE BUILDING
904 NELSONS PKWY., WAKARUSA, IN 46573



NO.	DATE	SUBMISSION

SHEET NAME
FLOOR PLAN

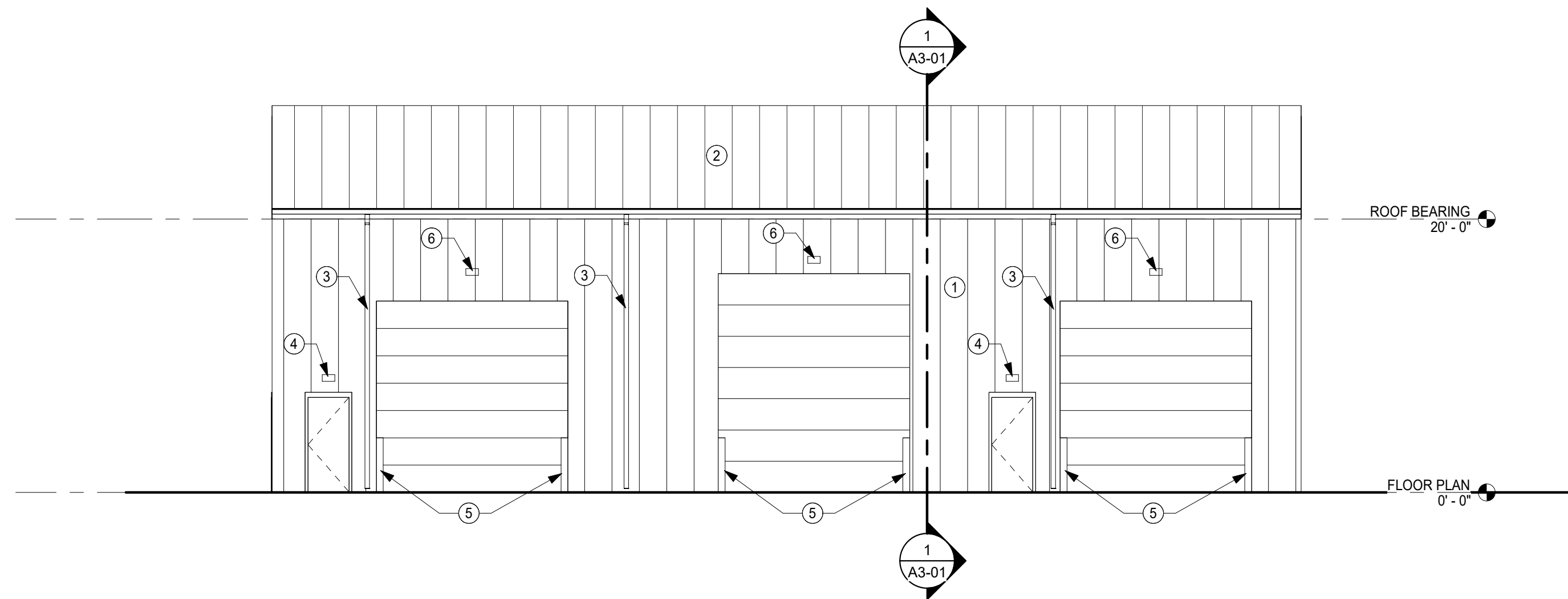
ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 26009-00	CHECKED BY: SRF
SCALE: 1/8" = 1'-0"	DATE: 05-04-2026

SHEET NUMBER

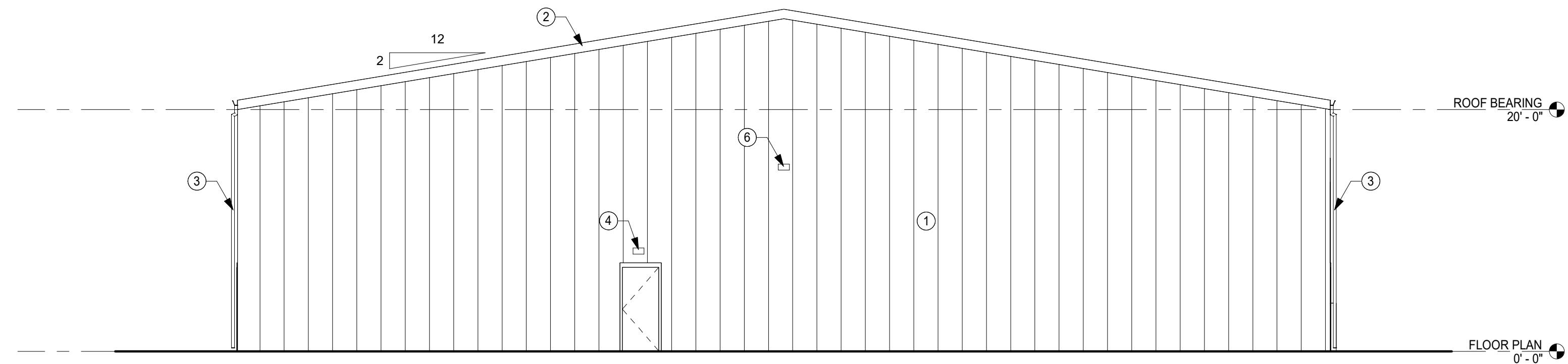
A1-01

KEYNOTES

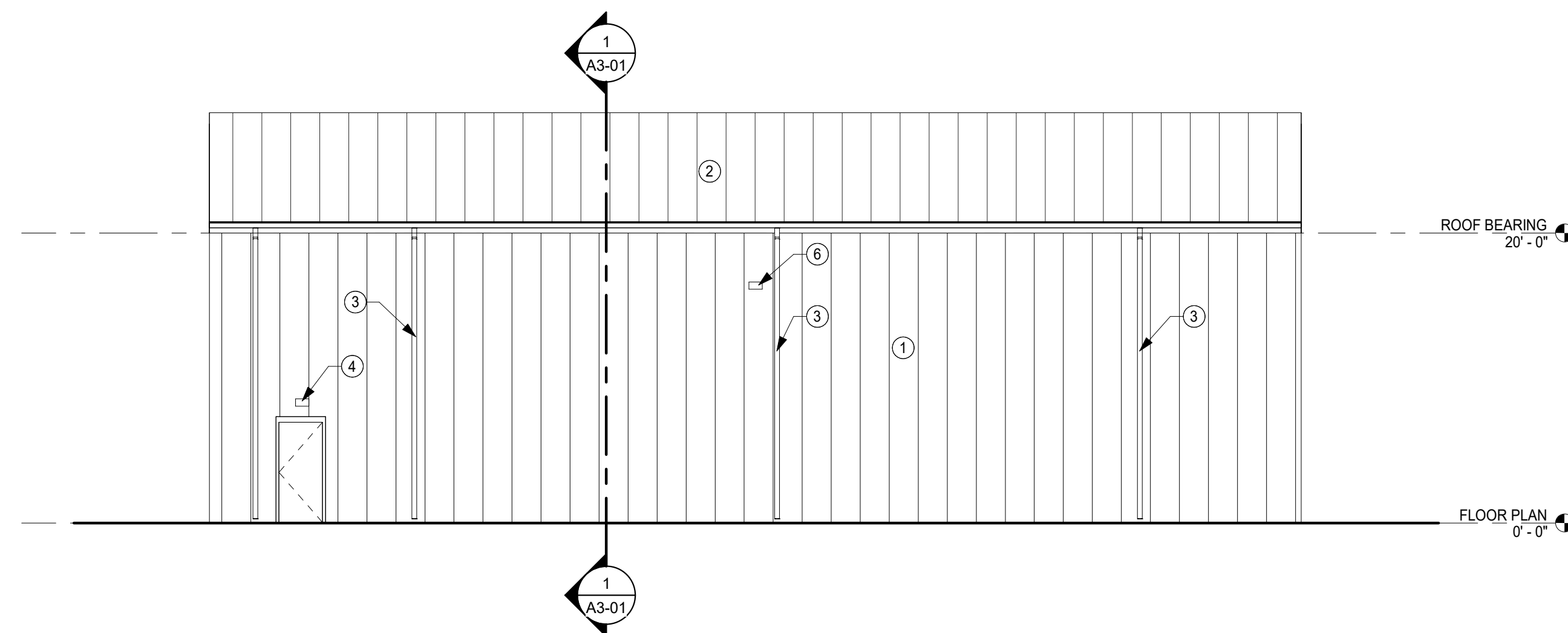
1. EXTERIOR METAL SIDING.
2. METAL STANDING SEAM ROOF, FASCIA, AND SOFFIT.
3. ALUMINUM DOWNSPOUT AND GUTTER.
4. EXTERIOR EGRESS MAN DOOR LIGHT.
5. 6" STEEL BOLLARDS AT ALL OH DOORS.
6. EXTERIOR WALL PACK FIXTURE.



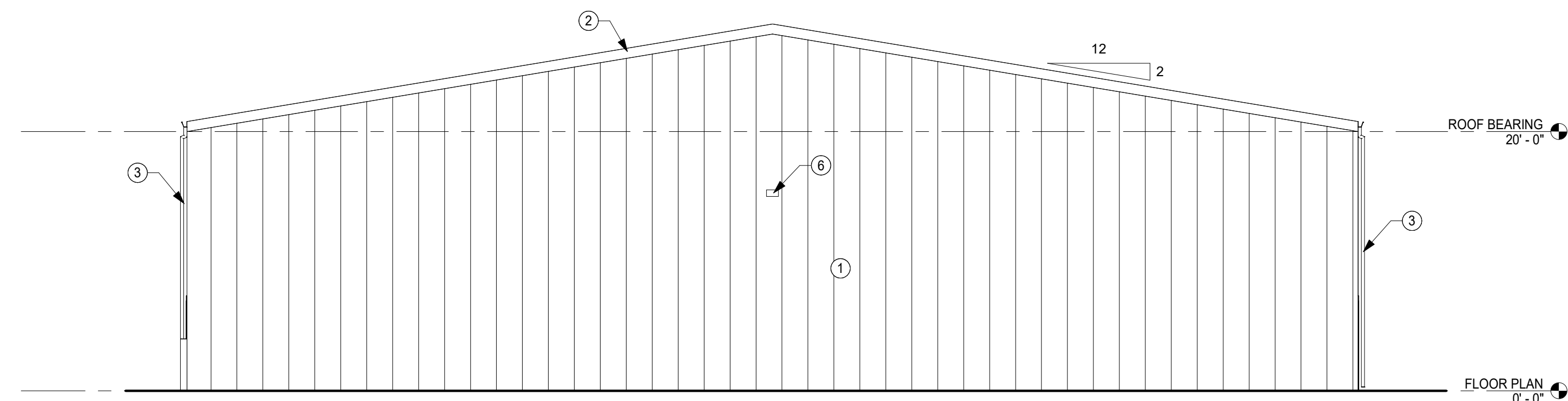
4 SOUTH ELEVATION
 1/8" = 1'-0"



3 WEST ELEVATION
 1/8" = 1'-0"



2 NORTH ELEVATION
 1/8" = 1'-0"



1 EAST ELEVATION
 1/8" = 1'-0"

PERMIT SET
SW WELDING STORAGE BUILDING
 904 NELSONS PKWY. WAKARUSA, IN 46573

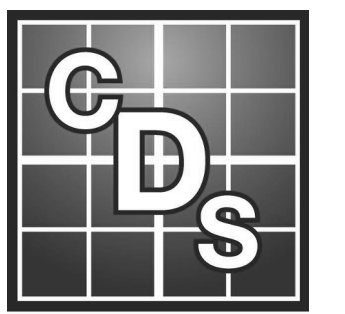


NO.	DATE	SUBMISSION

SHEET NAME
EXTERIOR ELEVATIONS

ARCHITECT: SRF	DRAWN BY: Author
JOB NO. 26009-00	CHECKED BY: Checker
SCALE: 1/8" = 1'-0"	DATE: 05-04-2026

SHEET NUMBER
A2-01

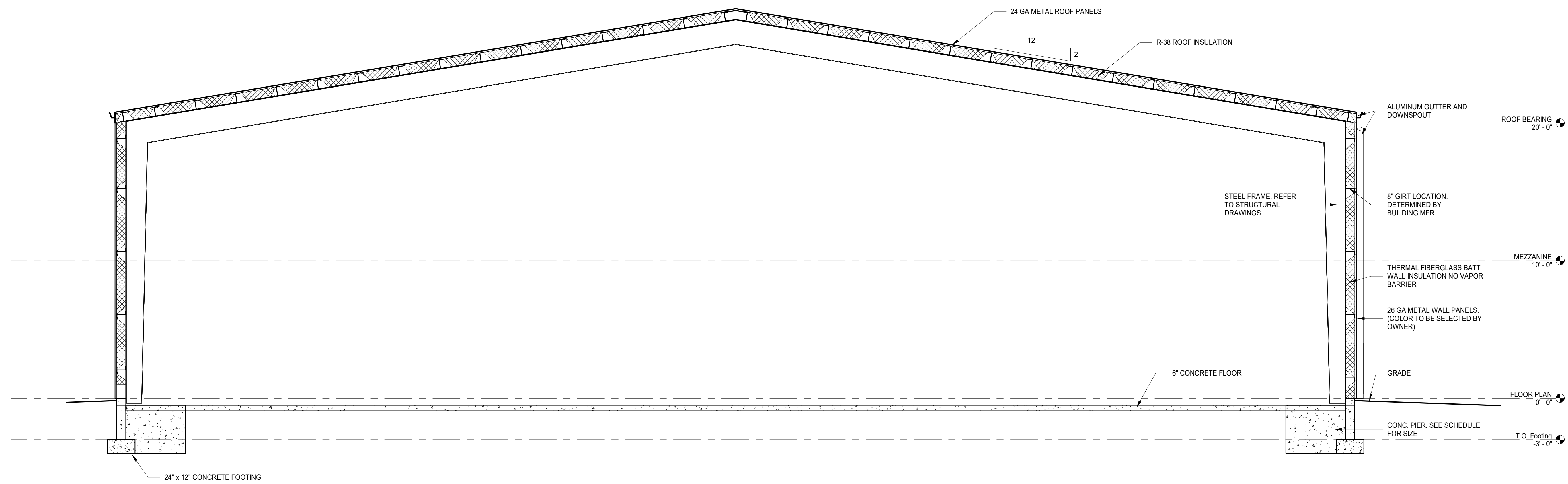


**CREATIVE
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224 WEST JEFFERSON BLVD
SUITE 102
SOUTH BEND INDIANA 46801
574-645-7507
www.CreativeDesigninc.com

PERMIT SET
SW WELDING STORAGE BUILDING

904 NELSONS PKWY. WAKARUSA, IN 46573



1 BUILDING SECTION
1/4" = 1'-0"

PROFESSIONAL'S SEAL



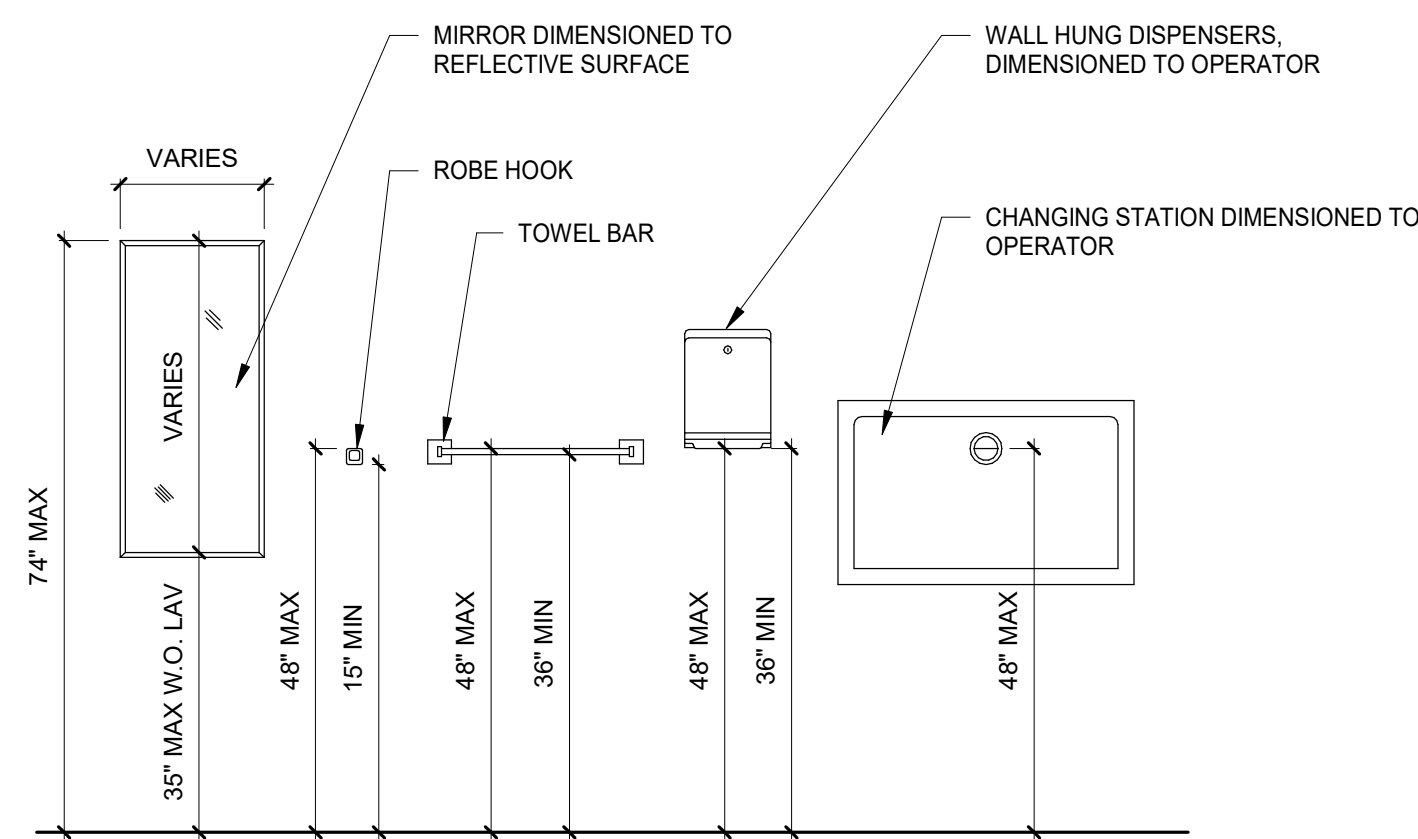
NO.	DATE	SUBMISSION

SHEET NAME
BUILDING SECTIONS

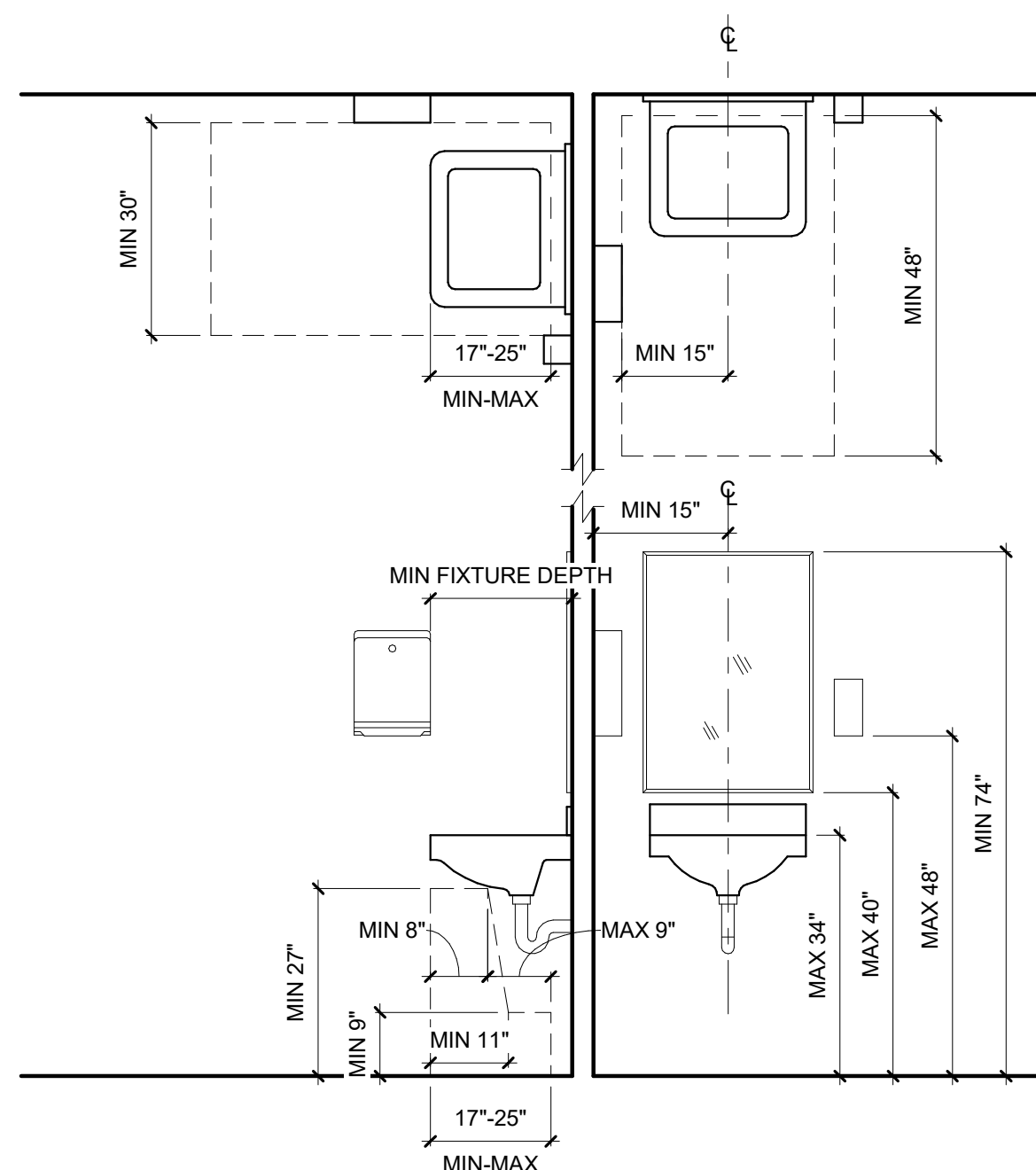
ARCHITECT: SRF	DRAWN BY: Author
JOB NO. 26009-00	CHECKED BY: Checker
SCALE: 1/4" = 1'-0"	DATE: 05-04-2026

SHEET NUMBER
A3-01

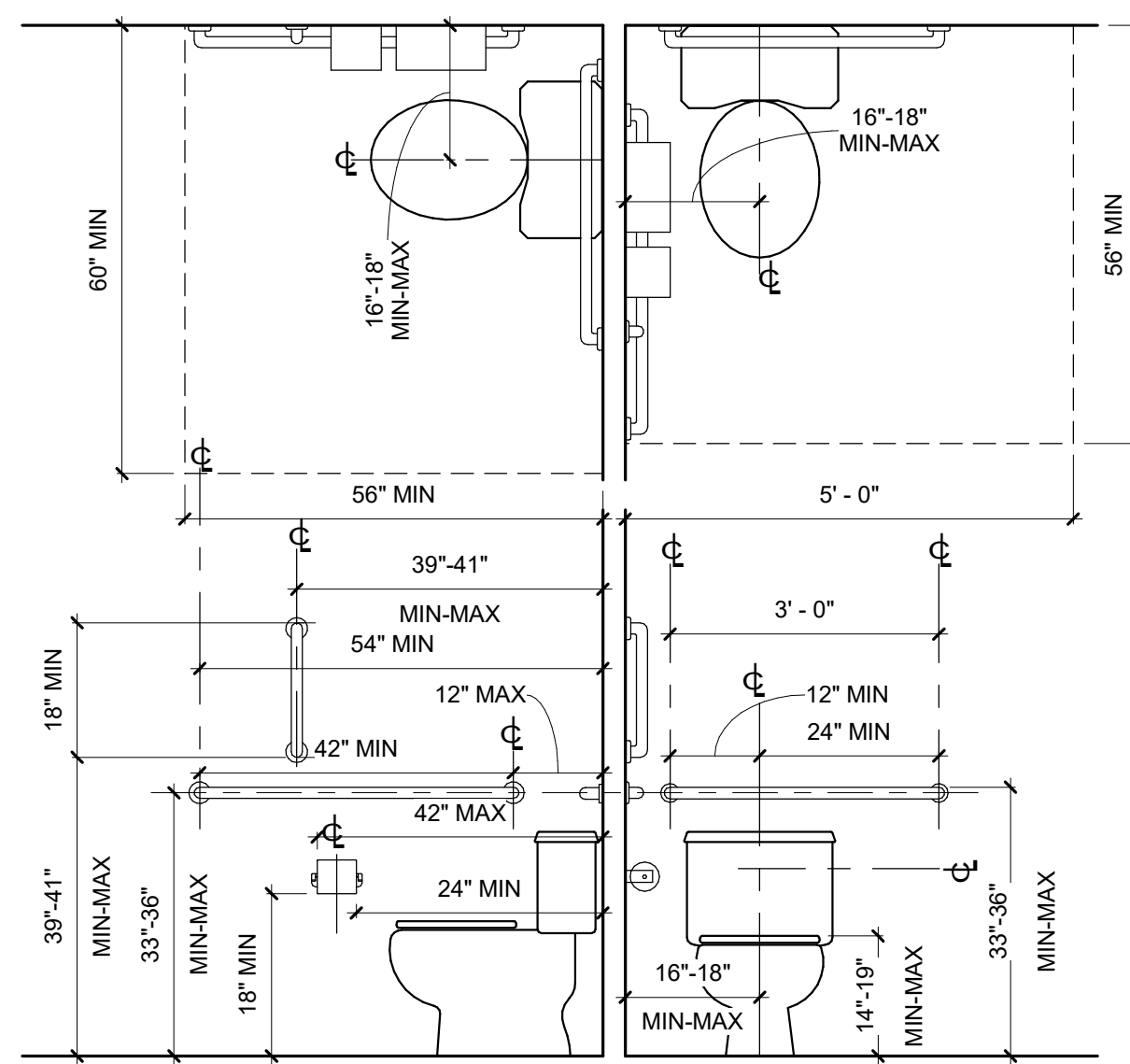
5/19/2026 11:58:17 AM



1 STANDARD ACCESSORIES MOUNTING HEIGHTS
1/2" = 1'-0"



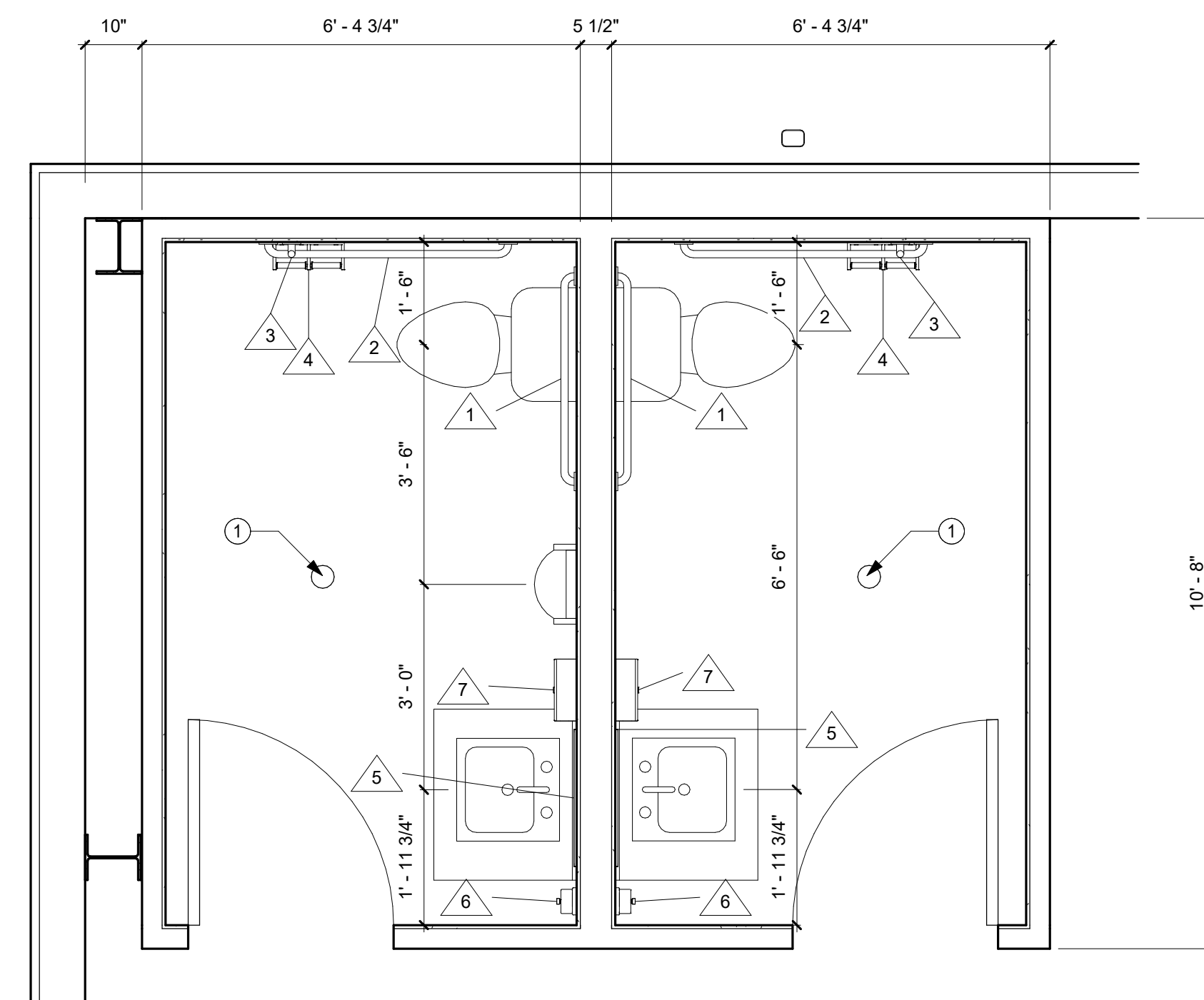
2 STANDARD ACCESSIBLE WALL HUNG LAVATORY
1/2" = 1'-0"



3 STANDARD ACCESSIBLE WATER CLOSET
1/2" = 1'-0"

NOTE:
THE FOLLOWING ACCESSIBILITY GRAPHICS & DIMENSIONS BELOW ARE ARCHITECTURAL GUIDELINES COMPRISED OF THE ICC/ANSI A117.1-2003 & AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES JULY 23, 2004; THUS AMENDED BY INDIANA BUILDING CODE. DIMENSIONS GOVERN UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL 2x WOOD BLOCKING FOR ALL GRAB BARS AND TOILET ACCESSORIES.

IF THERE IS A DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND ACCESSIBILITY CODES AND GUIDELINES THE CONTRACTOR MUST SUBMIT A REQUEST FOR INFORMATION (RFI) IN WRITING TO THE ARCHITECT.



4 ENLARGED RESTROOM PLAN
1/2" = 1'-0"

TOILET ACCESSORY SCHEDULE

MARK	DESCRIPTION	MFGR	MODEL NO.	MOUNTING HEIGHT	REMARKS
1	36" GRAB BAR				
2	42" GRAB BAR				
3	18" VERTICAL GRAB BAR				
4	TISSUE PAPER DISPENSER				
5	MIRROR				
6	SOAP DISPENSER				
7	PAPER TOWEL DISPENSER				

GENERAL ACCESSORY NOTES

- A. PROVIDE ALL BLOCKING NECESSARY FOR WALL MOUNTED EQUIPMENT AND ACCESSORIES INCLUDING FIRE EXTINGUISHER, TOILET ACCESSORIES, AND OWNER PROVIDED EQUIPMENT.
- B. REFER TO INTERIOR FINISH PLANS AND COLOR KEY FOR FINISH CLARIFICATIONS

KEYNOTES

- 1. NEW FLOOR DRAIN. CONNECT TO SANITARY LINE.

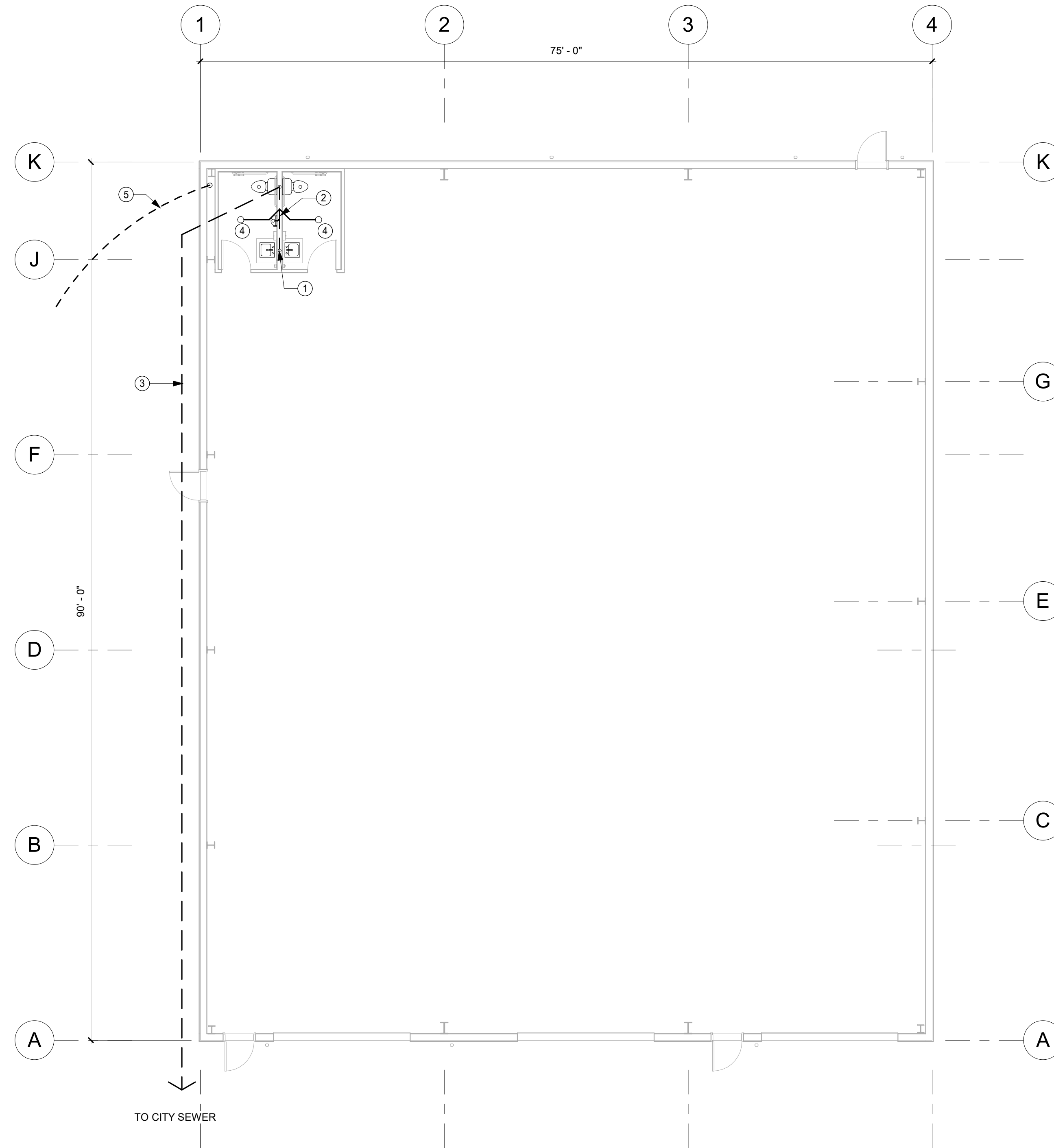
NO.	DATE	SUBMISSION

SHEET NAME
ENLARGED RESTROOM PLANS

ARCHITECT: SRF	DRAWN BY: ASR
JOB NO. 26009-00	CHECKED BY: GAH
SCALE: 1/2" = 1'-0"	DATE: 05-04-2026
SHEET NUMBER	

SHEET KEYNOTES

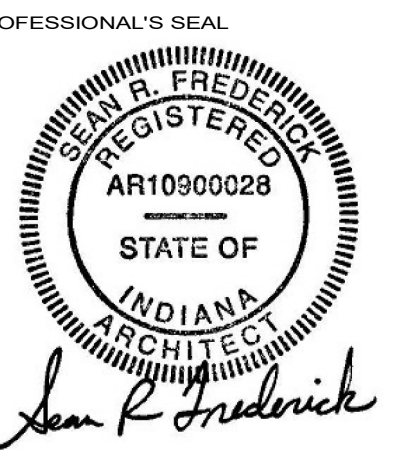
1. VENT TO ROOF.
2. 4" UNDERSLAB SANITARY TO STREET
3. RUN PVC SEWER PIPE OUT OF BUILDING AND ALONG SIDE BUILDING TO EXISTING SEWER.
4. NEW 4" FLOOR DRAIN
5. INCOMING WATER SUPPLY. CONNECT TO EXISTING SERVICE. RUN CW IN WALL CAVITY TO WATER HEATER ABOVE AND TO ALL NEW FIXTURES.



1 PLUMBING PLAN
1/8" = 1'-0"



PERMIT SET
SW WELDING STORAGE BUILDING
 904 NELSONS PKWY. WAKARUSA, IN 46573



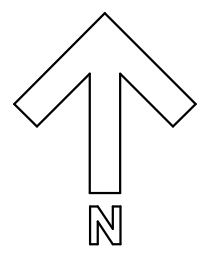
NO.	DATE	SUBMISSION

SHEET NAME
PLUMBING PLAN

ARCHITECT: SRF	DRAWN BY: ASR
JOB NO. 26009-00	CHECKED BY: GAH
SCALE: 1/8" = 1'-0"	DATE: 05-04-2026

SHEET NUMBER

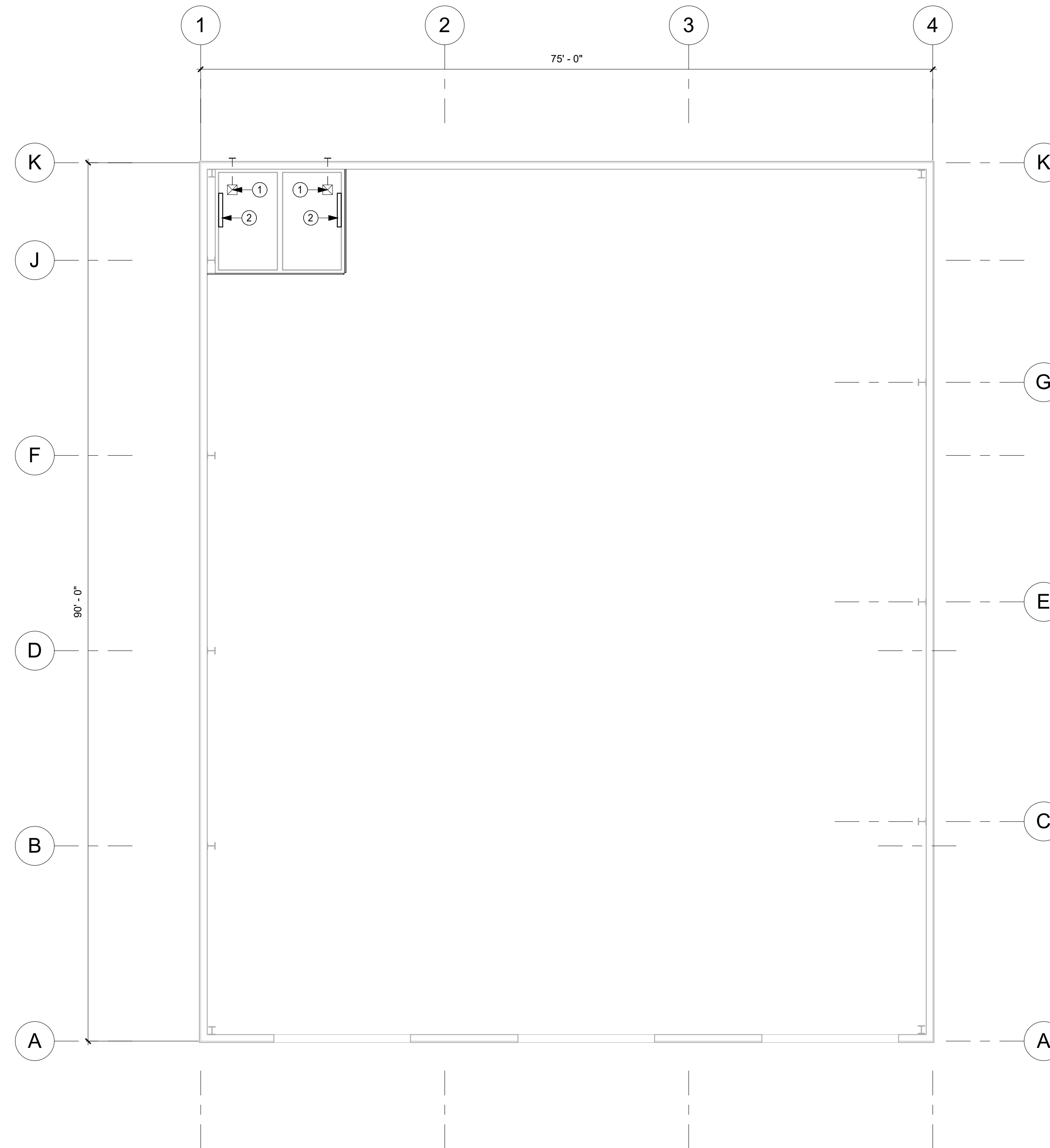
P1-01



5/19/2026 11:58:17 AM

SHEET KEYNOTES

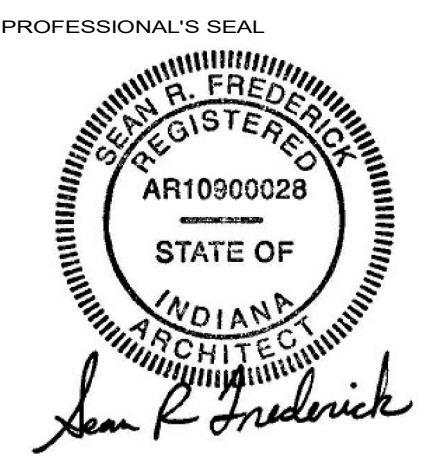
1. EXHAUST FAN VENT TO OUTSIDE.
2. ELECTRIC HEATER.



1 MECHANICAL PLAN
1/8" = 1'-0"



PERMIT SET
 SW WELDING STORAGE BUILDING
 904 NELSONS PKWY. WAKARUSA, IN 46573



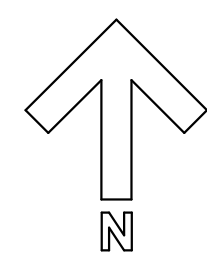
NO.	DATE	SUBMISSION

SHEET NAME
MECHANICAL FLOOR PLAN

ARCHITECT: SRF	DRAWN BY: ASR
JOB NO. 26009-00	CHECKED BY: GAH
SCALE: 1/8" = 1'-0"	DATE: 05-04-2026

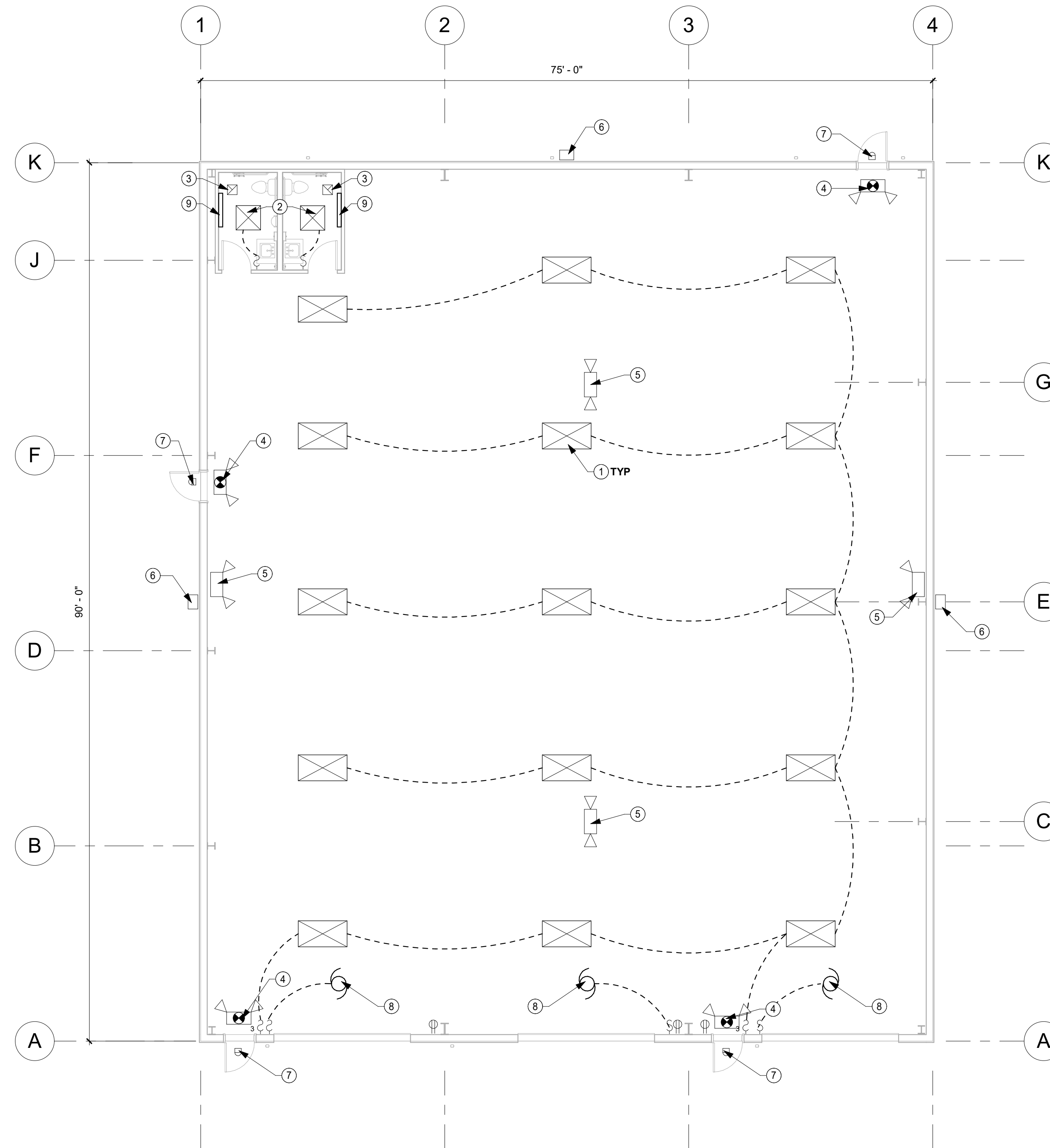
SHEET NUMBER

M1-01



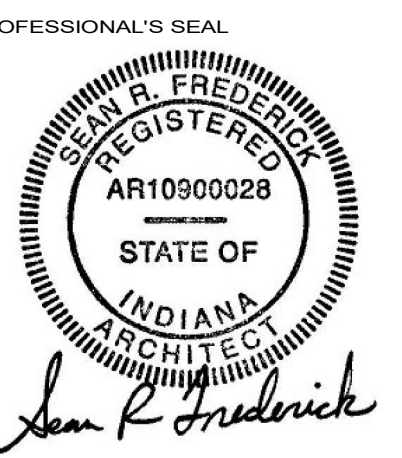
SHEET KEYNOTES

1. HIGH BAY LIGHT FIXTURE.
2. LED LIGHT FIXTURE.
3. PROVIDE POWER FOR EXHAUST FAN.
4. EXIT/ EMERGENCY LIGHT WITH BATTERY BACK UP.
5. EMERGENCY LIGHT WITH BATTERY BACK UP.
6. EXTERIOR WALL PACK FIXTURE.
7. EXTERIOR EGRESS MAN DOOR LIGHT.
8. PROVIDE POWER FOR OH DOOR OPERATOR.
9. PROVIDE POWER FOR ELECTRIC HEATER.
10. 3-WAY SWITCH.



1 ELECTRICAL FLOOR PLAN
 1/8" = 1'-0"

PERMIT SET
SW WELDING STORAGE BUILDING
 904 NELSONS PKWY., WAKARUSA, IN 46573

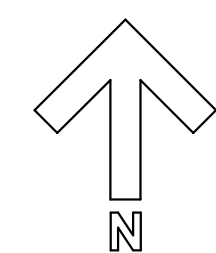


NO.	DATE	SUBMISSION

SHEET NAME
ELECTRICAL POWER PLAN

ARCHITECT: SRF	DRAWN BY: Author
JOB NO. 26009-00	CHECKED BY: Checker
SCALE: 1/8" = 1'-0"	DATE: 05-04-2026

SHEET NUMBER
E1-01





May 18, 2026

Elkhart County Planning & Development
4230 Elkhart Road
Goshen IN 46526

RE: DPUD Amendment Narrative

Dear Jason Auvil,

We are proposing to build a new 6,750 SF storage building at 903 Nelsons Pkwy., Wakarusa IN 46573. The new building will be used to store vehicles, materials, and equipment. No new production or fabrication will be happening in this building. The site is part of Clayridge Square Second PUD, Lot 3

Development Project Overview

The building will be situated on the back part of the property and is surrounded by existing manufacturing buildings to the north, east, and west. The south is an existing parking lot that will remain unchanged. There is a 28' x 75' proposed concrete apron along the south edge of the building to join to the existing parking lot. These improvements will add approximately 8,850 SF of new improvements. The existing site is 2.22 acres and current open site area is 57,131 SF and the new open site area is 48,281 SF. This project will disturb less than ½ acre, approximately.

Development Project Details

This project will be constructed as PEMB (Pre Engineered Metal Building) in a single phase. Construction consists of adding new concrete piers and grade beam with slab on grade, new steel frame, and steel siding and roof. Construction is expected to take about 3 months.

Access to the site will be via the existing site entrances. When completed the project should not add to the number of trucks, deliveries, etc. to the site. This building is to store trucks that are already coming and going from the site. The building will typically not be occupied by more than a couple of people, (maintenance staff) who are already working at the site.

No additional parking is required and there are no changes planned to the existing parking lot or drive.

Stormwater will be handled by an existing drainage swallow that runs along the east and north property lines to existing retention basin.



CREATIVE DESIGN
S O L U T I O N S

224 W. Jefferson Blvd., Suite 100
South Bend, IN 46601
574.643.7567

The property is already zoned PUD and is surrounded by M2 General Manufacturing. We are not proposing to change the zoning.

Utilities for sewer, water, and electricity are existing to the site and will remain on Wakarusa Utilities. We are not proposing any septic system for this project.

Sincerely,

Sean R Frederick, Architect
Creative Design Solutions, Inc.



TO: Plan Commission

FROM: H. Jason Auvil, Planning Manager & Zoning Administrator

SUB: Approvals of Plan Commission Recommendations

The following petition were **APPROVED** at the June 1st, 2026, Town Council of Middlebury meeting:

- Petitioner: Greencroft Middlebury Inc. represented by Abonmarche Consultants
Petition: for a zone map change from GPUD R-3 & GPUD R-4 to DPUD R-3 and for primary approval of a 1-lot major subdivision to be known as **GREENCROFT MIDDLEBURY PHASE II B DPUD R-3**.
Location: southwest end of Windridge Dr., 325 ft. west of Greencroft Pkwy., south of Circle Dr., south of Wayne St., in Middlebury Township.
Plan Commission Vote: Yes: 6; No: 0; Absent: 2; Abstain: 1 (DPUD-0184-2026)

Remonstrators Present: None

Development Issues: None

The following petitions were **APPROVED / ACCEPTED** at the June 15th, 2026, Elkhart County Commissioners' meeting:

- Petitioner: Eagle Real Estate Group LLC represented by Surveying & Mapping, LLC
Petition: for a zone map change from A-1 to DPUD M-1, and for primary approval of a 1-lot minor subdivision to be known as **EAGLE TRANSPORT DPUD M-1**.
Location: northwest corner of CR 142 & CR 17, common address of 22153 CR 142, Goshen, IN 46526 in Union Township. (DPUD-0039-2026)
Plan Commission Vote: Yes: 7; No: 0; Absent: 2
Remonstrators Present: No
Development Issues: No
- Petitioner: Larry Yoder & Linda Yoder, Husband & Wife represented by Abonmarche Consultants
Petition: for a zone map change from A-1 to DPUD M-1 and for primary approval of a 1-lot minor subdivision to be known as **YODER CONCRETE, LLC DPUD AMENDMENT No. 2**.
Location: west side of SR 13, 2,500 ft. south of CR 36, common address of 64455 SR 13, Goshen, IN 46528 in Clinton Township. (DPUD-0177-2026)
Plan Commission Vote: Yes: 7; No: 0; Absent: 2
Remonstrators Present: No
Development Issues: No



3. Petitioner: Spartin Development LLC represented by Abonmarche Consultants
Petition: for secondary approval of a 24-lot major subdivision to be known as **INDIAN CREEK PHASE TWO**.
Location: Northwest corner of CR 18 & CR 23, common address of 19339 CR 18, Goshen, IN 46528 in Jefferson Township. (MA-0185-2026)
Plan Committee Vote: Yes: 4; No: 0; Absent: 1
Remonstrators Present: No
Development Issues: No

The following petition was **APPROVED** at the June 18th, 2026, Town Council of Bristol meeting

1. Petitioner: Frost Properties LLC
Petition: for a zone map change from DPUD M-1 to M-1.
Location: west side of Blakesley Pkwy., 850 ft. north of Commerce Dr., common address of 2104 Blakesley Pkwy., Bristol, IN 46507 in Washington Township. (RZ-0161-2026)
Plan Commission Vote: Yes: 7; No: 0; Absent: 2
Remonstrators Present: None
Development Issues: None